

PROJECT:

**STEPHENS DISTRIBUTING CO.
185 Ravenswood Road, Dania Beach**

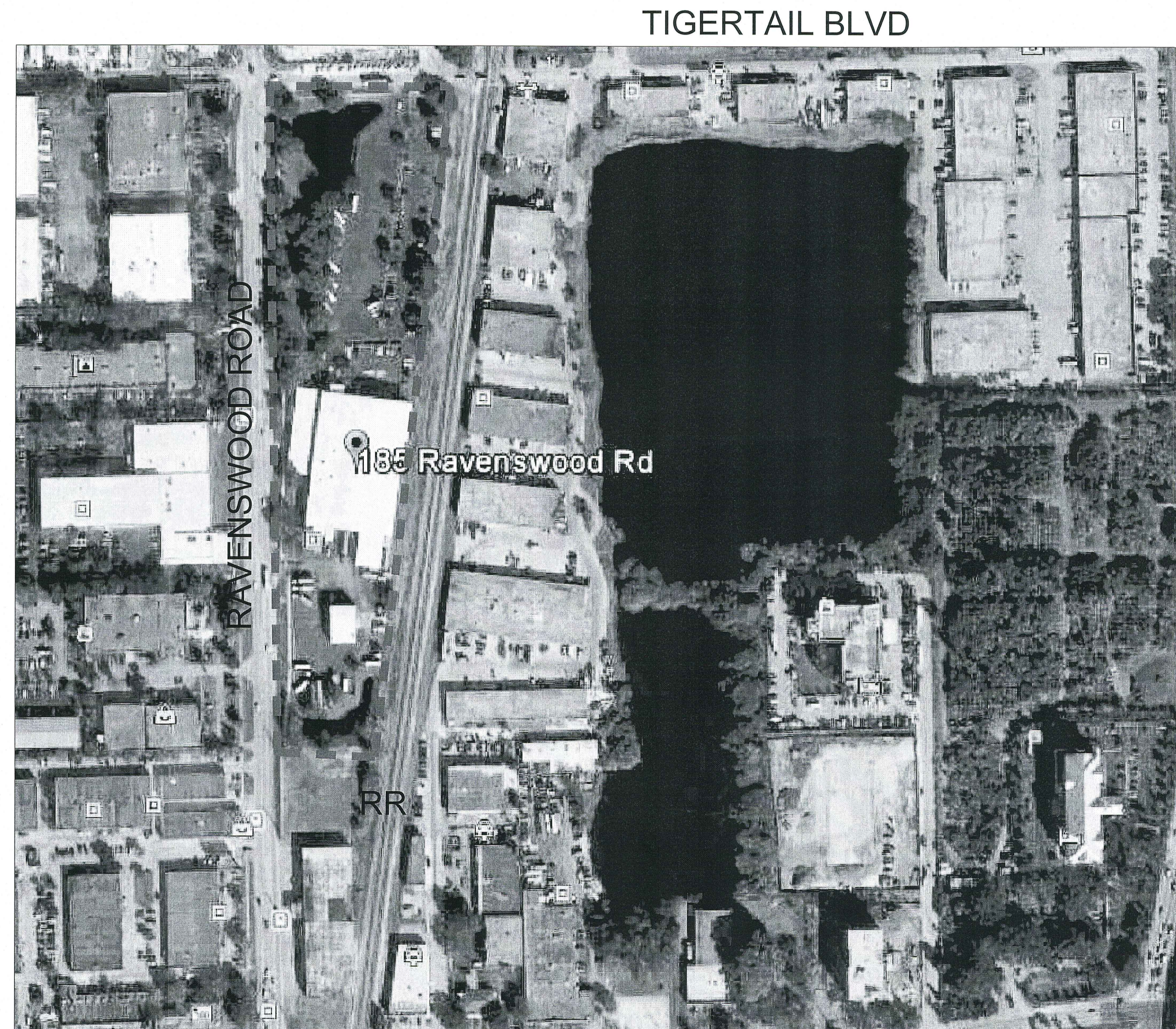
DRC 2nd SUBMITTAL - SITE PLAN REVISION

PROJECT TEAM:

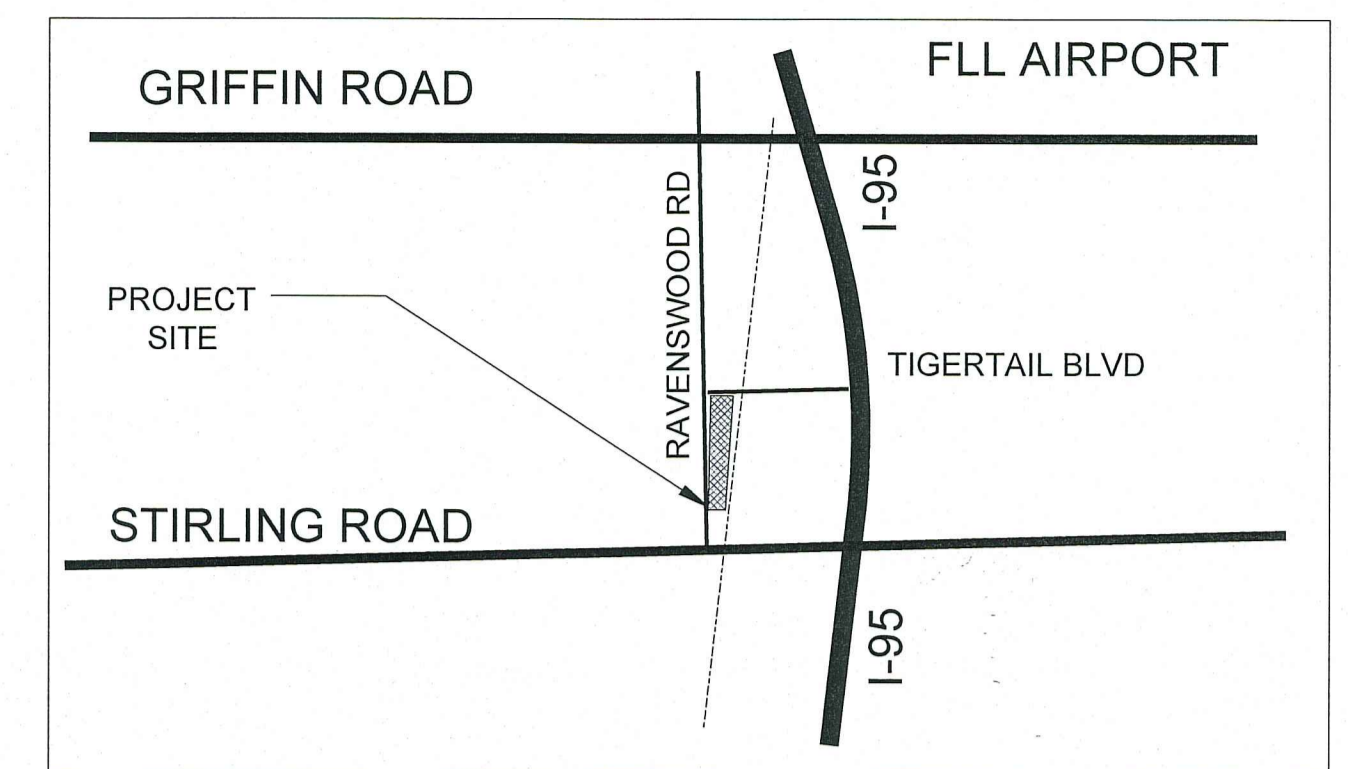
ARCHITECT
ART BENGOCHEA
6 SE 9th Ave, Ft. Laud., FL
954.527.0014

PLANNING
FLYNN ENGINEERING SERVICES, PA
241 Commercial Blvd., LBTS, FL
954.522.1004

LANDSCAPE ARCHITECTURE
ARCHITECTURAL ALLIANCE
612 SW 4th Ave., Ft. Laud., FL
954.764.8858



LOCATION IMAGE
scale: N.T.S.



LOCATION SKETCH
scale: N.T.S.

LEGAL DESCRIPTION

Parcel "A", BUD PLAT, according to the Plat thereof as recorded in Plat Book 125, Page 2 of the Public Records of Broward County, Florida.

AND

Parcel "A", BUDLIGHT PLAT, according to the Plat thereof as recorded in Plat Book 141, Page 6 of the Public Records of Broward County, Florida.

Said lands situate in the City of Dania Beach, Broward County, Florida and containing 343,002 square feet (7.874 acres) more or less.

DRC SHEET INDEX

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C3	CONCEPTUAL WATER PLAN (FIRE SERVICE)
C4	DETAILS (FIRE SERVICE)

	Job No. 15-1224.00
	Plot Date 08/26/15
241 COMMERCIAL BLVD. LAUDERDALE-BY-THE-SEA, FL 33308 PHONE: (954) 522-1004 FAX: (954) 522-7630 www.flynnengineering.com EB# 6578	Drawn by DTR
	Proj. Engr. JMF
	Appr. by JMF
	COVER

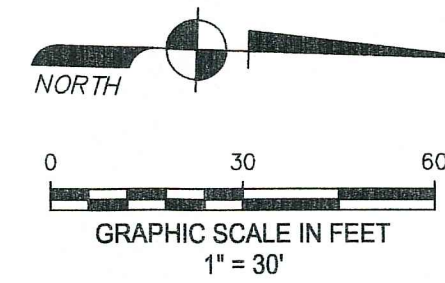
Prepared for: Stephens Broward Properties, LLC

SYMBOL LEGEND:

- BACKFLOW PREVENTOR VALVE
- BENCHMARK
- BOLLARD
- CABLE TELEVISION RISER
- ▣ CATCH BASIN
- ⊕ CONCRETE UTILITY POLE
- ⊖ DISABLED PARKING SPACE
- ⊙ DRAINAGE MANHOLE
- ⊕ ELECTRIC SERVICE BOX
- ⊖ FIRE HYDRANT
- ⊙ FLAG POLE
- ⊖ GUY ANCHOR
- ⊕ IRRIGATION CONTROL VALVE
- ⊖ MONITORING WELL
- ⊕ NON-VEHICULAR ACCESS LINE (PER PLATS)
- ⊖ OVERHEAD WIRES
- ⊕ SANITARY CLEANOUT
- ⊖ SANITARY MANHOLE
- ⊕ SIGN
- ⊖ UNKNOWN UTILITY MANHOLE
- ⊕ WATER METER
- ⊖ WATER VALVE
- ⊕ WOOD LIGHT POLE
- ⊖ WOOD UTILITY POLE

TREE LEGEND:

- ⊕ MAHOGANY
- ⊖ MANGO
- ⊕ OAK
- ⊖ PALM
- ⊕ UNKNOWN SPECIES



SURVEYOR'S REPORT:

- Reproductions of this Sketch are not valid without the signature and the original raised seal of a Florida licensed surveyor and mapper.
- No Title Opinion or Abstract to the subject property has been provided. It is possible that there are Deeds, Easements, or other instruments (recorded or unrecorded) which may affect the subject property. No search of the Public Records has been made by the Surveyor.
- The land description shown hereon was provided by the Client.
- No underground improvements were located.
- Every effort has been made to obtain underground utilities pipe type and size, as shown. It is the responsibility of the end user to verify the invert and pipe size dimensions prior to design of new facilities.
- Bearings shown hereon are assumed based on the west line of Section 33-50-42 having a bearing of N 01°48'16" W.
- The entire property described hereon lies within Flood Zones X and AH (EL 5), as shown on the Federal Emergency Management Agency (FEMA) Flood Insurance Rate Map, Community Panel No. 120034 0566 H, dated August 18, 2014.
- Elevations shown hereon are in feet and based on the North American Vertical Datum of 1988 (NAVD 1988). To convert NAVD 1988 elevations to National Geodetic Vertical Datum of 1929 (NGVD 1929) for this property, the model value of (+)1.604 must be added algebraically to the NAVD 1988 height.
- Benchmark Description: Broward County Engineering Division Benchmark #1129. Elevation = 10.25 feet (NGVD 1929). Elevation = 8.65 feet (NAVD 1988).
- Symbols shown hereon and in the legend may have been enlarged for clarity. These symbols have been plotted at the center of the field location and may not represent the actual shape or size of the feature.
- This map is intended to be displayed at a scale of 1:360 (1"=30').
- Units of measurement are in U.S. Survey Feet and decimal parts thereof. Well identified features in this survey were field measured to a horizontal positional accuracy of 0.10'.
- The species of trees as shown hereon were identified to the best of knowledge and ability of the surveyor, without the benefit of an arborist or biologist. It is the responsibility of the end user to verify the identity of the species.
- Site Address: 185 Ravenswood Road, Dania Beach, FL 33312
- Abbreviation Legend: A/C = Air conditioner; B.C.R. = Broward County Records; B.M. = Benchmark; C.M. = Centerline; C.M. = Concrete Monument; CMP = Corrugated Metal Pipe; CONC. = Concrete; EL. = Elevation; F.B. = Field Book; FD. = Found; F.F. = Finished Floor; ID. = Identification; INV. = Invert; I.R. = Iron Rod; L.B. = Licensed Business; Ms. = Measured; NGVD = National Geodetic Vertical Datum; OW = Overhead Wires; P. = Per Record Plat; PG. = Page; P.L.S. = Professional Land Surveyor; P.R.M. = Permanent Reference Monument; PT. = Point; PVC = Polyvinyl-Chloride Pipe; RCP = Reinforced Concrete Pipe; R/W = Right-of-Way; W/CAP = With Surveyors Cap.

LAND DESCRIPTION:

Parcel "A", BUD PLAT, according to the Plat thereof as recorded in Plat Book 125, Page 2 of the Public Records of Broward County, Florida.

AND

Parcel "A", BUDLIGHT PLAT, according to the Plat thereof as recorded in Plat Book 141, Page 6 of the Public Records of Broward County, Florida.

Said lands situate in the City of Dania Beach, Broward County, Florida and containing 343,002 square feet (7.874 acres) more or less.

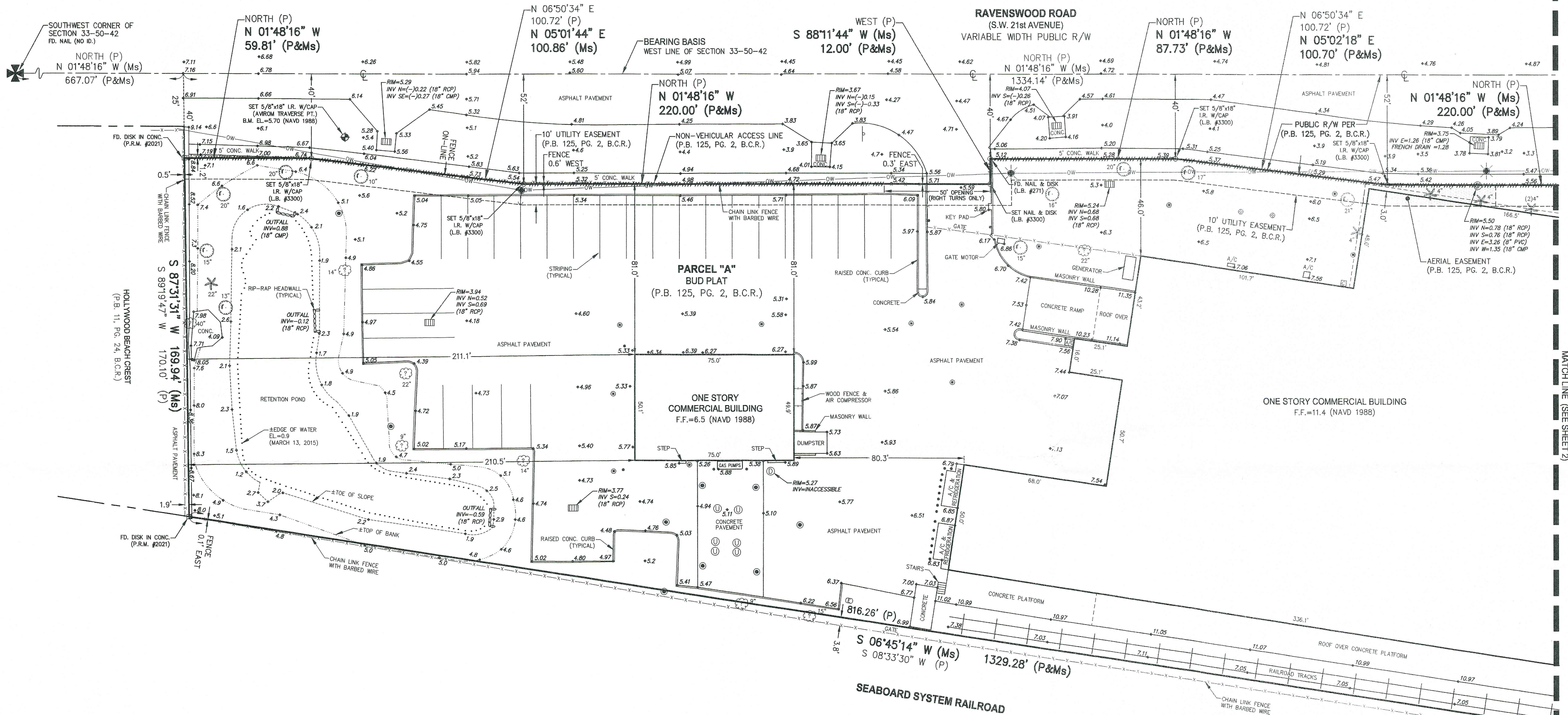
CERTIFICATION:

I HEREBY CERTIFY that the attached Boundary & Topographic Survey of the hereon described property is true and correct to the best of my knowledge and belief as surveyed in the field under my direction. I FURTHER CERTIFY that this Boundary & Topographic Survey meets the Standards of Practice set forth in Chapter 5J-17.05, Florida Administrative Code, pursuant to Section 472.027, Florida Statutes.

Date: 3/16/15

Michael D. Avrom

MICHAEL D. AVROM, P.L.S.
Florida Registration No. 3268
AVIROM & ASSOCIATES, INC.
L.B. No. 3300



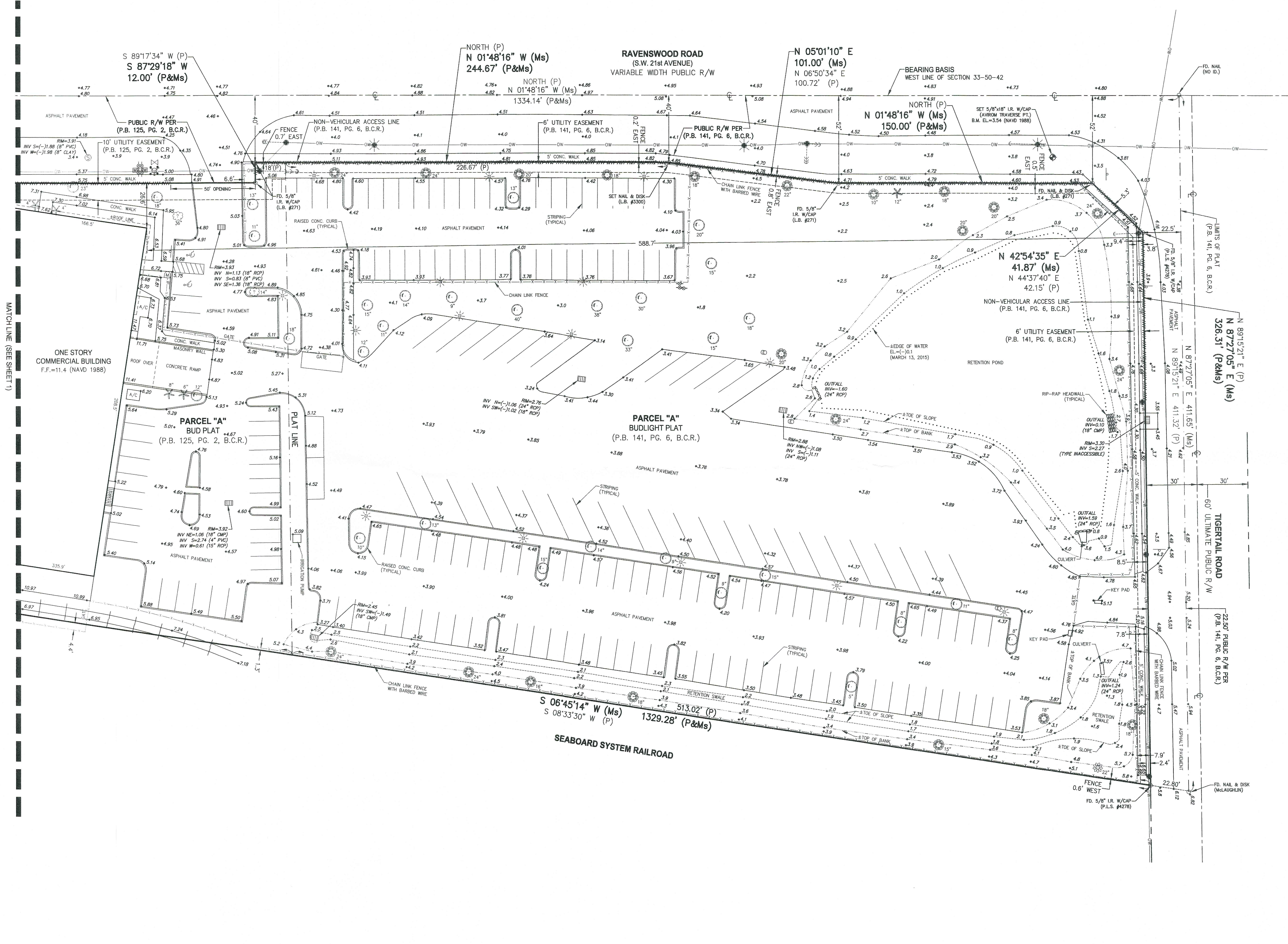
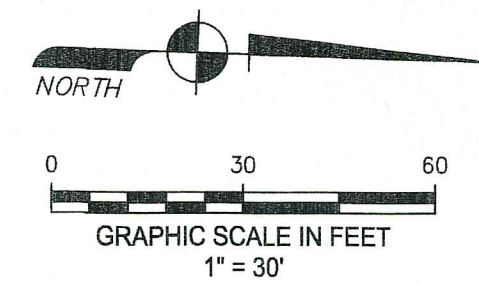
AVIROM & ASSOCIATES, INC.
SURVEYING & MAPPING
50 S.W. 2ND AVENUE, SUITE 102, BOCA RATON, FLORIDA 33432
TEL. (561) 392-2594, FAX (561) 394-7125
www.AVIROM-SURVEY.com

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REVISIONS	DATE	F.B./PG.	BY	CKD	REVISIONS	DATE	F.B./PG.	BY	CKD

BOUNDARY & TOPOGRAPHIC SURVEY
PARCEL "A"
BUD PLAT (P.B. 125, PG. 2, B.C.R.)
BUD LIGHT PLAT (P.B. 141, PG. 6, B.C.R.)
SECTION 33, TOWNSHIP 50 SOUTH, RANGE 42 EAST
DANIA BEACH
BROWARD COUNTY, FLORIDA

JOB #: **9846**
SCALE: 1" = 30'
DATE: 03/13/2015
BY: S.A.M.
CHECKED: M.D.A.
F.B. 1730 PG. 2-25
SHEET 1 OF 2



- SYMBOL LEGEND:**
- ⊗ BACKFLOW PREVENTOR VALVE
 - ⊕ BENCHMARK
 - ⊙ BOLLARD
 - ⊛ CABLE TELEVISION RISER
 - ⊠ CATCH BASIN
 - ⊙ CONCRETE UTILITY POLE
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 - ⊙ DRAINAGE MANHOLE
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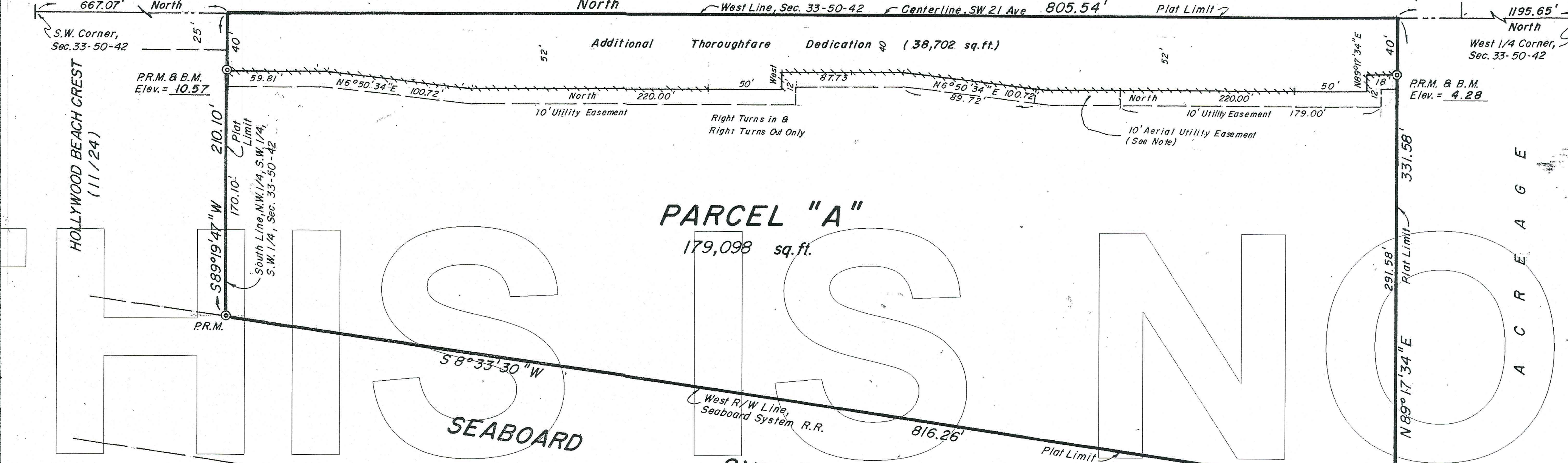
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REVISIONS	DATE	F.B. / PG.	BY	CKD	REVISIONS	DATE	F.B. / PG.	BY	CKD

BOUNDARY & TOPOGRAPHIC SURVEY
PARCEL "A"
 BUD PLAT (P.B. 125, PG. 2, B.C.R.)
 BUD LIGHT PLAT (P.B. 141, PG. 6, B.C.R.)
 SECTION 33, TOWNSHIP 50 SOUTH, RANGE 42 EAST
 DANIA BEACH
 BROWARD COUNTY, FLORIDA

JOB #:	9846
SCALE:	1" = 30'
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SHEET 2 OF 2	

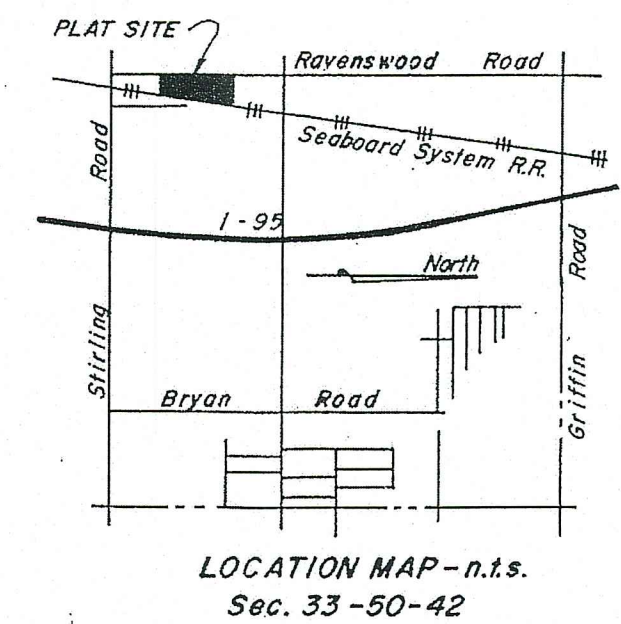
HALLIGAN HEIGHTS (28/9) A-N-J TRUST PLAT (107/15) A.C.R. PLAT (118/46) PLAT OF SEC. 28, 29, 31 & 32, T.50S., R.42E. (2/32/D.C.R.) Lot 3 - Block 4



PARCEL "A" 179,098 sq.ft.

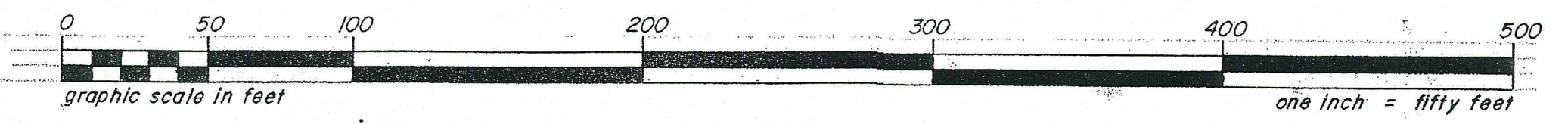
DESCRIPTION All that portion of the Northwest one-quarter (N.W. 1/4) of the Southwest one-quarter (S.W. 1/4) of the Southwest one-quarter (S.W. 1/4); AND the South 138.46 feet (as measured at right angles) of the Southwest one-quarter (S.W. 1/4) of the North-west one-quarter (N.W. 1/4) of the Southwest one-quarter (S.W. 1/4) of Section 33, Township 50 South, Range 42 East, lying West of the Seaboard System Railroad.

NOTES P.R.M. - indicates Permanent Reference Monument B.M. - indicates Bench Mark This plat Contains 5.0087 acres ##### - indicates Non-Vehicular Access Line Bearings refer to an assumed meridian Building Structures are not to exceed 20 feet in height, above finished grade, within the Aerial Utility Easement This plat is restricted to 48,000 sq.ft of General Industrial Commercial/retail uses are not permitted without the approval of the Board of County Commissioners, who shall review and address these uses for increased impacts.



"BUD PLAT"

A PORTION OF THE SOUTHWEST ONE-QUARTER (S.W. 1/4), SECTION 33, TOWNSHIP 50 SOUTH, RANGE 42 EAST, CITY OF DANIA, BROWARD COUNTY, FLORIDA



DEDICATION STATE OF FLORIDA KNOW ALL MEN BY THESE PRESENTS: That STEPHENS DISTRIBUTING COMPANY, a Florida corporation, owner of the lands described and shown as included in this plat, has caused said lands to be subdivided and platted as shown hereon, said plat to be known as "BUD PLAT". The additional thoroughfare is hereby dedicated to the perpetual use of the public in fee simple. All easements are hereby dedicated to the public for proper purposes.

IN WITNESS WHEREOF: We hereunto set our hands and affix the corporate seal in the City of Fort Lauderdale, County of Broward, State of Florida, this 30th day of January, 1985. STEPHENS DISTRIBUTING COMPANY

Witness Orlan Romo as to both Officer: Edward B. Stephens Title: President Witness Betty R. Baker as to both Officer: Mary H. Stephens Title: Secretary

ACKNOWLEDGEMENT I HEREBY CERTIFY: That on this day personally appeared before me, an officer duly authorized by law to administer oaths and take acknowledgements, Edward B. Stephens and Mary H. Stephens, President and Secretary respectively of STEPHENS DISTRIBUTING COMPANY, to me well known to be the individuals described in and who executed the foregoing dedication, and they acknowledged before me that they executed the same freely and voluntarily, for uses and purposes therein expressed. WITNESS: My hand and official seal in the City of Fort Lauderdale, County of Broward, State of Florida, this 30th day of January, 1985. My commission expires the 6th day of Sept, 1985. NOTARY PUBLIC Lundy J. Boehmke STATE OF FLORIDA

DEDICATION OF MORTGAGE HOLDER ATLANTIC NATIONAL BANK OF FLORIDA, a Florida banking corporation, owner and holder of a mortgage on this property, recorded in O.R. BOOK 12205, PAGE 247, Broward County Records, does hereby join in the dedication shown hereon. IN WITNESS WHEREOF: We hereunto set our hands and affix the corporate seal in the City of Pompano Beach, County of Broward, State of Florida, this 30th day of January, 1985. ATLANTIC NATIONAL BANK OF FLORIDA Witness Frances J. School as to both Officer: Wm. D. Colledge Title: Sr. V.P. Witness Edward P. Edmon as to both Officer: Summitt E. Boone Title: Vice Pres.

ACKNOWLEDGEMENT I HEREBY CERTIFY: That on this day personally appeared before me, an officer duly authorized by law to administer oaths and take acknowledgements, Wm. D. Colledge and Summitt E. Boone, Sr. V.P. and V.P. respectively of ATLANTIC NATIONAL BANK OF FLORIDA, to me well known to be the individuals described in and who executed the foregoing dedication, and they acknowledged before me that they executed the same freely and voluntarily, for uses and purposes therein expressed. WITNESS: My hand and official seal in the City of Pompano Beach, County of Broward, State of Florida, this 30th day of January, 1985. My commission expires the 11th day of June, 1986. NOTARY PUBLIC Lynn Marie Padino STATE OF FLORIDA

CITY OF DANIA PLANNING AND ZONING BOARD THIS IS TO CERTIFY: That the PLANNING AND ZONING BOARD of the City of Dania has approved and accepted this plat for record this 5th day of March, 1985. By: Sam Colandrea, Chairman, this 16th day of May, 1985.

DANIA CITY COMMISSION THIS IS TO CERTIFY: That this plat of "BUD PLAT" was approved by the BOARD OF COMMISSIONERS of the City of DANIA, Broward County, Florida, by Ordinance No. 08-85, adopted by the said City Commission on this 29th day of April, 1985. Attested: Thurg Phillips, City Clerk, [Signature] Mayor

BROWARD COUNTY ENGINEERING DIVISION This plat has been approved and accepted for record. By: Henry P. Cook, Director, Date: 9-16-85, Fla. P.E. Reg. No. 12506

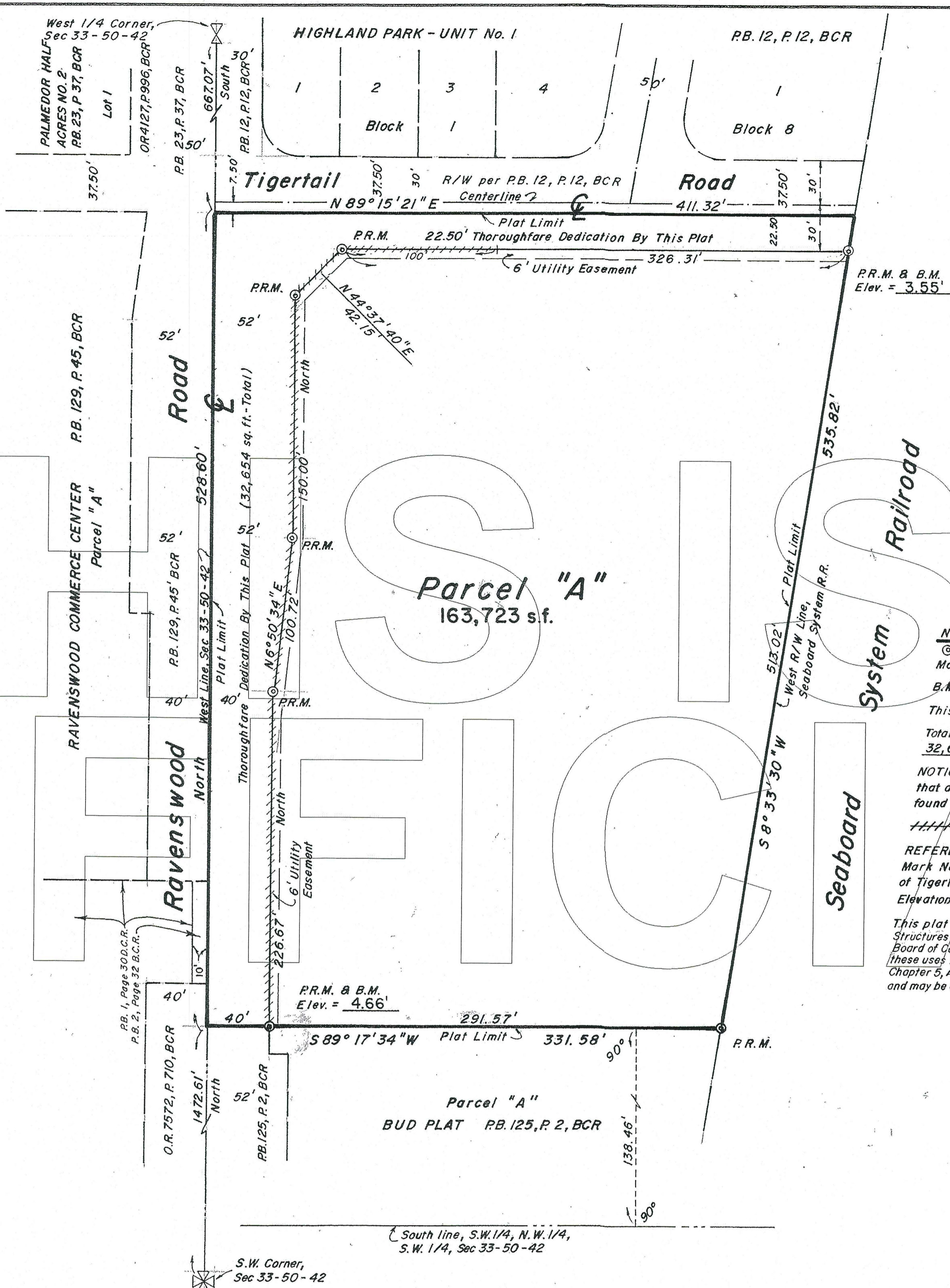
BROWARD COUNTY PLANNING COUNCIL THIS IS TO CERTIFY: That the Broward County Planning Council approved this plat with regard to dedication of Rights-of-Way for Traffic Ways by Resolution duly adopted this 28th day of March, 1985. By: Marcia Beach, this 23rd day of August, 1985.

BROWARD COUNTY FINANCE AND ADMINISTRATIVE SERVICES DEPARTMENT - COUNTY RECORDS DIVISION - MINUTES SECTION THIS IS TO CERTIFY: That this plat complies with the provisions of Chapter 177, FLORIDA STATUTES, and was accepted for record by the Board of Commissioners of Broward County, Florida, this 6th day of AUGUST, 1985. F.T. JOHNSON - COUNTY ADMINISTRATOR By: Phillip J. Flanagan, Deputy By: [Signature] Chairperson - County Commission

BROWARD COUNTY FINANCE AND ADMINISTRATIVE SERVICES DEPARTMENT - COUNTY RECORDS DIVISION - RECORDING SECTION This plat filed for record this 18th day of September, 1985, in BOOK 125 of PLATS, at Page 2, record verified F.T. JOHNSON - COUNTY ADMINISTRATOR By: Carol C. Doyle, Deputy

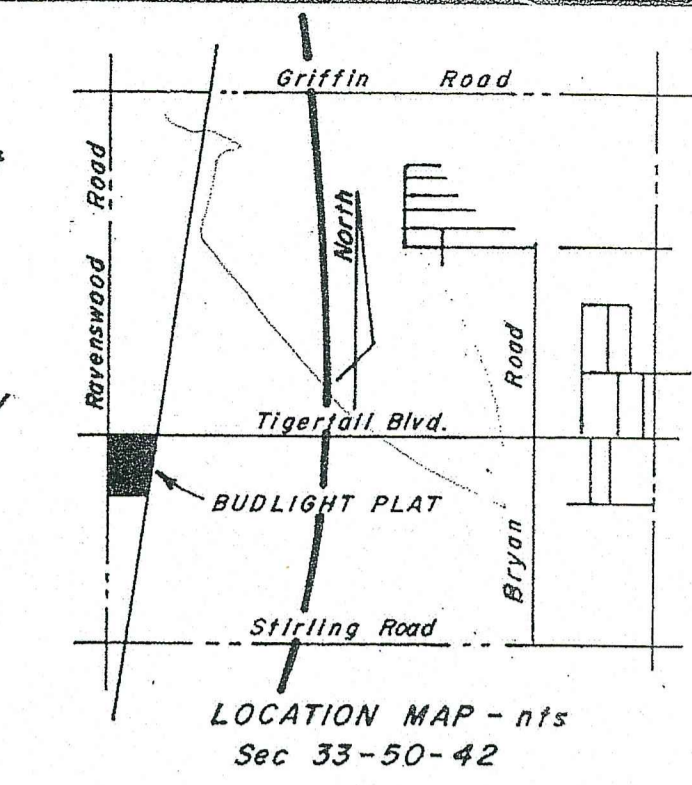
SURVEYOR'S CERTIFICATE STATE OF FLORIDA I HEREBY CERTIFY: That the attached plat, is a true and correct representation of the lands recently surveyed, subdivided and platted under my responsible direction and supervision, that the survey data shown complies with the applicable requirements of Chapter 177, FLORIDA STATUTES, A.D. 1971, and further that the PERMANENT REFERENCE MONUMENTS (P.R.M.'S) were set in accordance with Section 177.091 of said Chapter 177, on this 26th day of August, 1985. The BENCH MARKS shown are referenced to N.G. VERTICAL DATUM and conform to standards for third order work.

McLAUGHLIN ENGINEERING CO. This plat dated at Fort Lauderdale, Florida, this 20th day of January, 1985. By: Robert C. McLaughlin, Registered Land Surveyor No. 3356, State of Florida.



CITY OF DANIA PLANNING AND ZONING BOARD
 THIS IS TO CERTIFY: That the PLANNING AND ZONING BOARD of the City of Dania has approved and accepted this plat for record this 2ND day of AUGUST, 1988.
 By: Saw Calande, Chairman, this 21 day of SEP, 1988

DANIA CITY COMMISSION
 THIS IS TO CERTIFY: That this plat of "BUDLIGHT PLAT" was approved by the BOARD OF COMMISSIONERS of the City of DANIA, Broward County, Florida, by Ordinance No. 45-88, adopted by the said City Commission this 13TH day of SEPTEMBER, 1988.
 Attested Wanda Mulliken City Clerk By: V.K. MacMillan Mayor



DESCRIPTION
 All that portion of the Southwest one-quarter (S.W. 1/4) of the Northwest one-quarter (N.W. 1/4) of the Southwest one-quarter (S.W. 1/4) of Section 33, Township 50 South, Range 42 East, lying West of the Seaboard System Railroad; LESS the South 138.46 feet (as measured at right angles).

DEDICATION
 STATE OF FLORIDA SS KNOW ALL MEN BY THESE PRESENTS: That STEPHENS DISTRIBUTING COMPANY, a Florida corporation, owner of the lands COUNTY OF BROWARD described and shown as included in this plat, has caused said lands to be subdivided and platted as shown hereon, said plat to be known as "BUDLIGHT PLAT". The additional thoroughfare is hereby dedicated to the public in fee simple. The utility easements are hereby dedicated to the public for proper purposes.
 IN WITNESS WHEREOF: We hereunto set our hands and affix the corporate seal in the City of Fort Lauderdale, County of Broward, State of Florida, this 26TH day of JUNE, 1988.
 Witness: Patricia See Aigner as to both Officer: Edward B. Stephens Title: President
 Witness: Betty K. Bunk as to both Officer: Mary H. Stephens Title: Secretary

ACKNOWLEDGEMENT
 STATE OF FLORIDA SS BEFORE ME personally appeared Edward B. Stephens and Mary H. Stephens, being the President and Secretary, respectively of STEPHENS DISTRIBUTING COMPANY, a Florida corporation, to me known to be the individuals described in and who executed the foregoing instrument and acknowledged to and before me that they executed said instrument for purposes herein expressed.
 WITNESS: My hand and official seal, this 21 day of JUNE, 1988.
 My commission expires the 6th day of September, 1988. NOTARY PUBLIC Cindy S. Boehnke STATE OF FLORIDA

DEDICATION OF MORTGAGE HOLDER
 O.R. BOOK 12905, PAGE 1, modified in O.R. BOOK 15080, PAGE 120, and in FIRST UNION NATIONAL BANK OF FLORIDA, a national banking association, as trustee, owner & holder of mortgages on this property, recorded in O.R. BOOK 15080, PAGE 0126, Broward County Records, does hereby join in the dedication shown hereon.
 IN WITNESS WHEREOF: I hereunto set my hand and affix the corporate seal in the City of Hollywood, County of Broward, State of Florida, this 29th day of JUNE, 1988.
 Witness: Paul A. Smith Officer: Randy Rienas Title: Assistant Vice President
 Witness: Anna Scavitti

ACKNOWLEDGEMENT
 STATE OF FLORIDA SS BEFORE ME personally appeared RANDY RIENAS being the ASSISTANT VICE PRESIDENT of FIRST UNION NATIONAL BANK OF FLORIDA, a national banking association, to me known to be the individual described in and who executed the foregoing instrument and acknowledged to and before me that he executed said instrument for the purposes herein expressed.
 WITNESS: My hand and official seal, this 29th day of JUNE, 1988.
 My commission expires the 19th day of OCTOBER, 1991. NOTARY PUBLIC Susan L. Dougherty STATE OF FLORIDA

BROWARD COUNTY OFFICE OF PLANNING
 This plat is approved and accepted for record this 27th day of OCTOBER, 1989. By: Donald L. Kowell Director

BROWARD COUNTY ENGINEERING DIVISION
 This plat has been approved and accepted for record.
 BY: Henry P. Cook Henry P. Cook Date: 10-27-89 Director of Engineering, Fla. P.E. Reg. No. 12506

BROWARD COUNTY PLANNING COUNCIL
 THIS IS TO CERTIFY: That the Broward County Planning Council approved this plat subject to its compliance with dedications of rights-of-way for trafficways by resolution adopted this 25th day of AUGUST, 1988. By: Jan Cook Chairman Date: 10-27-89
 This plat complies with the resolution of the Broward County Planning Council of the above date and is approved and accepted for record this 26th day of October, 1989. By: John P. Randolph Administrator or Designee

BROWARD COUNTY FINANCE AND ADMINISTRATIVE SERVICES DEPARTMENT - COUNTY RECORDS DIVISION - MINUTES SECTION
 THIS IS TO CERTIFY: That this plat complies with the provisions of Chapter 177, FLORIDA STATUTES, and was accepted for record by the Board of County Commissioners of Broward County, Florida, this 1st day of November, 1989. L.A. HESTER - COUNTY ADMINISTRATOR
 By: Harriet G. Hartman Deputy By: John E. Grossman Chairperson - County Commission

BROWARD COUNTY FINANCE AND ADMINISTRATIVE SERVICES DEPARTMENT - COUNTY RECORDS DIVISION - RECORDING SECTION
 This plat filed for record this 2nd day of November, 1989, in BOOK 141 of PLATS, at Page 6, record verified L.A. HESTER COUNTY ADMINISTRATOR By: Carole P. Dwyer Deputy

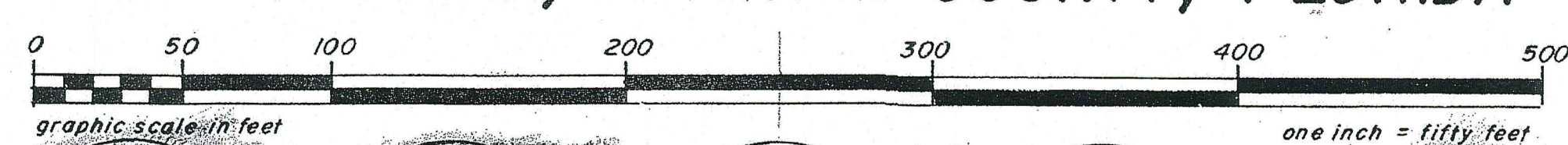
SURVEYOR'S CERTIFICATE
 STATE OF FLORIDA SS I HEREBY CERTIFY: That the attached plat, is a true and correct representation of the lands recently surveyed, subdivided and platted under my COUNTY OF BROWARD responsible direction and supervision, that the survey data shown complies with the applicable requirements of Chapter 177, FLORIDA STATUTES, and further that the PERMANENT REFERENCE MONUMENTS (P.R.M.'S) were set in accordance with Section 177.091 of said Chapter 177, on this 24th day of October, 1988. The BENCH MARKS shown are referenced to N.G. VERTICAL DATUM and conform to standards for third order work. This plat conforms to all applicable sections of Chapter 21-HH-6, FLORIDA ADMINISTRATIVE CODE.

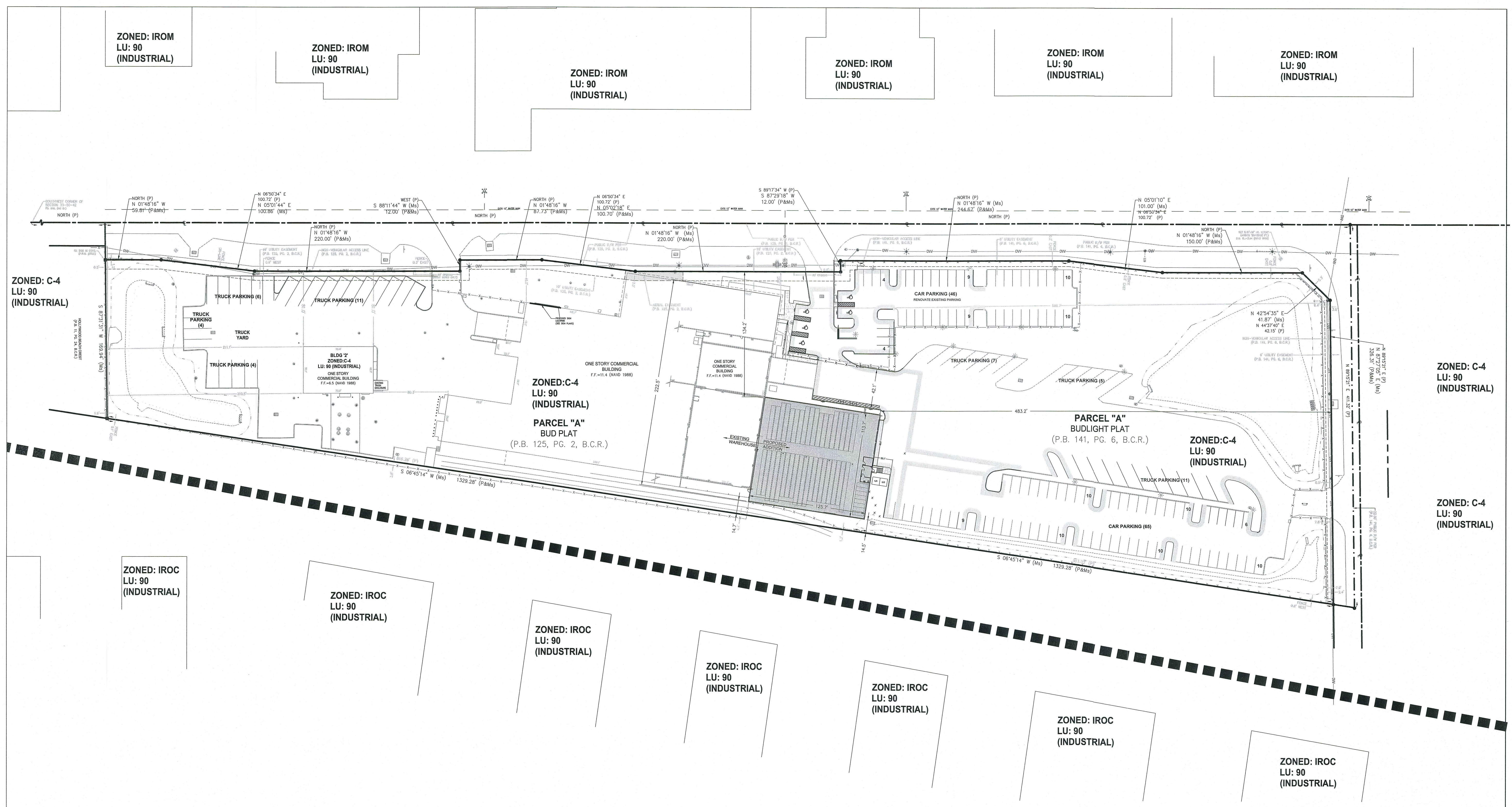
McLAUGHLIN ENGINEERING CO.
 This plat dated at Fort Lauderdale, Florida, this 18th day of June, 1988. By: Robert C. McLaughlin Registered Land Surveyor No. 3356, State of Florida.

NOTES
 P.R.M. - Indicates Permanent Reference Monument
 B.M. Elev. = Indicates Bench Mark Elevation
 This plat contains 4.5082 acres.
 Total thoroughfare dedicated by this plat: 32,654 sq. ft.
 NOTICE: There may be additional restrictions that are not recorded on this plat that may be found in the public records of Broward County.
 - - - - - indicates Non-Vehicular Access Line
 REFERENCE BENCH MARK: Broward County Bench Mark No. 326 (Top of L "iron pipe on centerline of Tigertail Road and Ravenswood Road) Elevation = 6.468
 This plat is restricted to PARKING USE ONLY. Structures are not permitted without the approval of the Board of County Commissioners who shall review and address these uses for increased impacts. This note is required by Chapter 5, Article IX, Broward County Code of Ordinances, and may be amended by agreement with Broward County.

BUDLIGHT PLAT

A PORTION OF THE SOUTHWEST ONE-QUARTER (S.W. 1/4), SECTION 33, TOWNSHIP 50 SOUTH, RANGE 42 EAST, CITY OF DANIA, BROWARD COUNTY, FLORIDA





LEGAL DESCRIPTION

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AND

Parcel "A", BUDLIGHT PLAT, according to the Plat thereof as recorded in Plat Book 141, Page 6 of the Public Records of Broward County, Florida.

Said lands situate in the City of Dania Beach, Broward County, Florida and containing 343,002 square feet (7.874 acres) more or less.

SITE PLAN INFORMATION

CURRENT USE OF PROPERTY	INDUSTRIAL
CURRENT LAND USE DESIGNATION	INDUSTRIAL
PROPOSED LAND USE DESIGNATION	INDUSTRIAL
CURRENT ZONING DESIGNATION	C-4 (COMMERCIAL)
PROPOSED ZONING DESIGNATION	C-4 (COMMERCIAL)
ADJACENT ZONING DESIGNATION-NORTH (SAME OWNER)	C-4 (COMMERCIAL)
ADJACENT ZONING DESIGNATION-SOUTH	C-4 (COMMERCIAL)
ADJACENT ZONING DESIGNATION-EAST	IROM (INDUSTRIAL)
ADJACENT ZONING DESIGNATION-WEST	IROM (INDUSTRIAL)

SETBACK TABLE

	REQUIRED	PROVIDED
REAR YARD (EAST) RR TRACKS	10'	14.5'
STREET YARD (NORTH)	10'	483.2'
SIDE YARD (SOUTH)	0'	210.5'
FRONT YARD (WEST) RAVENSWOOD RD.	10'	3.0'-extg

TOTAL SITE AREA ±7.87 ACRES TOTAL/ ±343,002 S.F.

TOTAL PERVIOUS EXISTING (LANDSCAPE)	122,661 S.F.	35.7%
TOTAL PERVIOUS PROPOSED (LANDSCAPE)	118,403 S.F.	34.5%
TOTAL IMPERVIOUS EXISTING	220,341 S.F.	64.3%
TOTAL IMPERVIOUS PROPOSED (75% MAX)	224,599 S.F.	65.5%
TOTAL BUILDING FOOT PRINT EXISTING: 2 bldgs	58,486 S.F.	17.0%
TOTAL BUILDING FOOT PRINT PROPOSED: 2 bldgs+add	72,473 S.F.	21.1%
TOTAL BUILDING SQUARE FOOTAGE	72,473 G.S.F.	
FLOOR AREA RATIO (F.A.R.) - 2 bldgs+addition	72,473/343,002 = 0.21	
BUILDING SIZE-BLDG '1'-existing	54,486 sf	
BUILDING SIZE-BLDG '1'-addition	+14,245 sf	
BUILDING SIZE-BLDG '1'-TOTAL	68,731 sf	
NUMBER OF STORES-BLDG '1'	1 STORY	
BUILDING WIDTH & LENGTH-BLDG '1'	222.5' X 461.8'	
BUILDING SIZE-BLDG '2'	3,742 sf	
NUMBER OF STORES-BLDG '2'	1 STORY	
BUILDING WIDTH & LENGTH-BLDG '2'	50' X 75'	
PEDESTRIAN WALKS & PLAZAS	3,456 S.F.	1.0%
VIA AREA	148,173 S.F.	43.2%
OPEN SPACE (PED + LANDSCAPE)	121,859 S.F.	35.5%
LOT COVERAGE (70% MAX)	72,473 S.F.	21.1%

PARKING DATA:

	SF	RATIO	REQUIRED	PROVIDED
TOTAL EXISTING (DISTRIBUTION/WAREHOUSE)	58,228	1/700SF	83	
ADDITION (DISTRIBUTION/WAREHOUSE)	14,245	1/700SF	21	
TOTAL	72,473		104	
TOTAL HANDICAP PARKING			5	5
TOTAL BICYCLE PARKING*			10%	12
TOTAL CAR PARKING			104	116

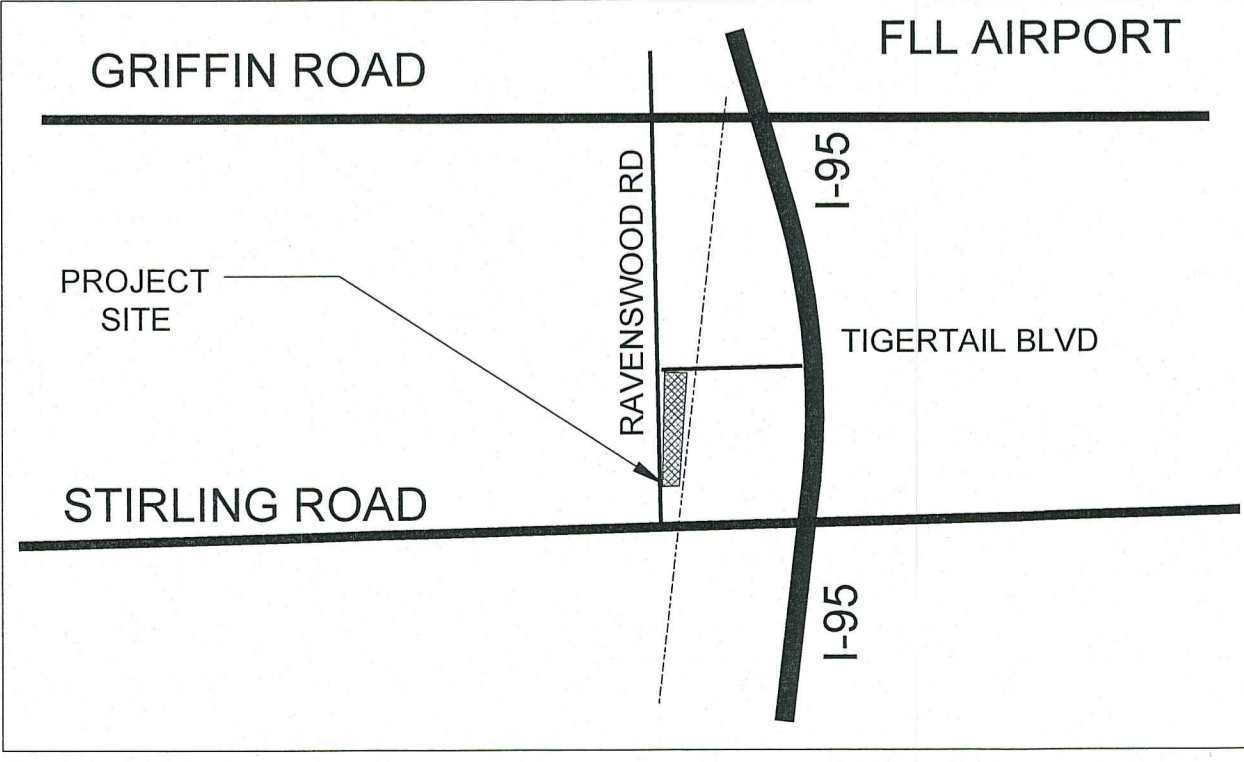
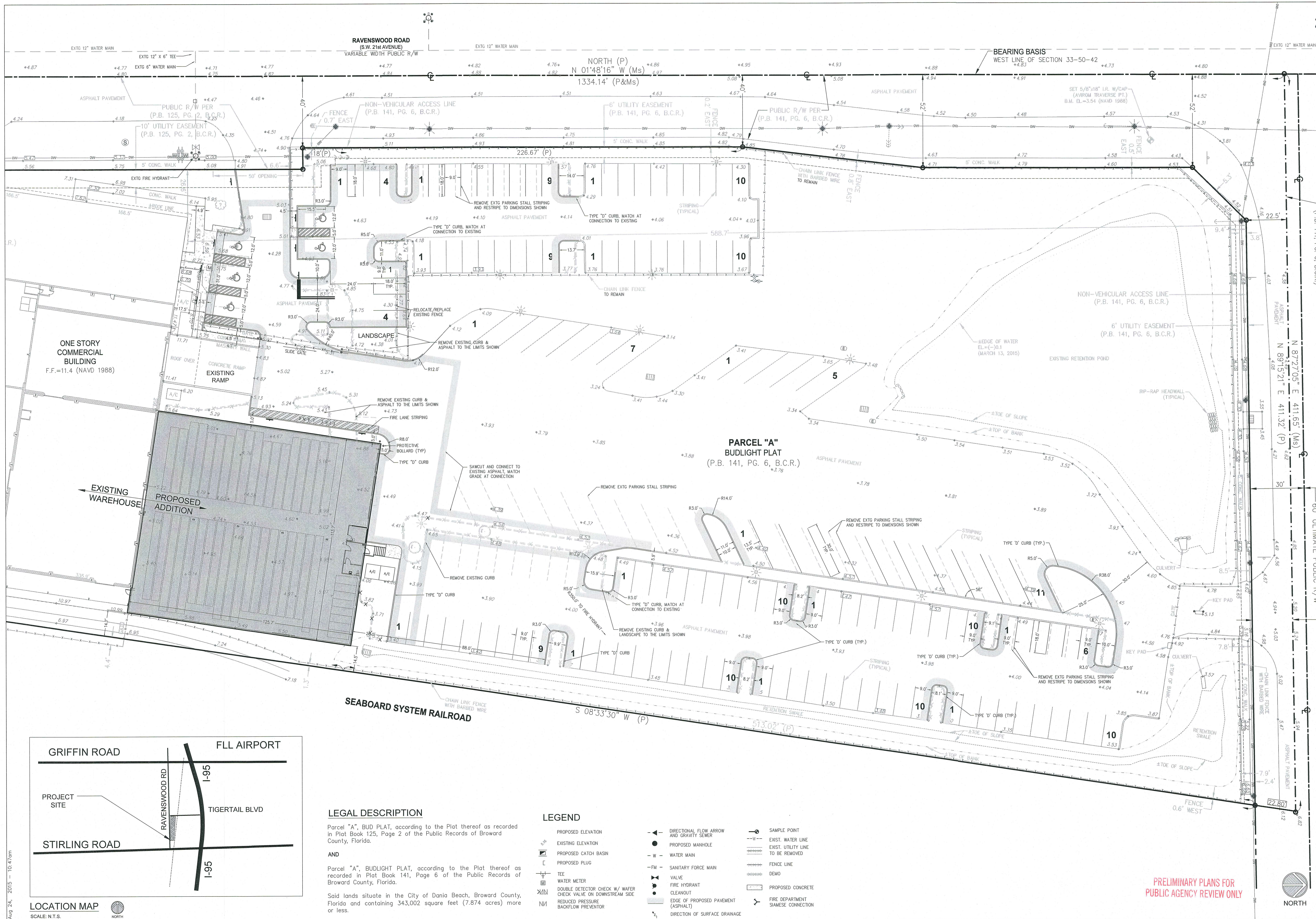
BICYCLE PARKING NOTE*
(12) BICYCLE PARKING SPOTS ARE CURRENTLY BEING PROVIDED IN A SECURE LOCATION WITHIN THE BUILDING.

SIGNAGE NOTES:

- ALL PAVEMENT MARKINGS SHALL BE THERMOPLASTIC, EXCEPT FOR PARKING STALL STRIPING.
- R1-1 SIGNS SHALL BE HIGH INTENSITY.
- ALL SIGNAGE AND PAVEMENT MARKINGS SHALL CONFORM TO THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES, (MUTCD).

LEGEND

- PROPOSED ELEVATION
- EXISTING ELEVATION
- PROPOSED CATCH BASIN
- PROPOSED PLUG
- TEE
- WATER METER
- DOUBLE DETECTOR CHECK W/ WAFER CHECK VALVE ON DOWNSTREAM SIDE
- REDUCED PRESSURE BACKFLOW PREVENTOR
- DIRECTIONAL FLOW ARROW AND GRAVITY SEWER
- PROPOSED MANHOLE
- WATER MAIN
- SANITARY FORCE MAIN
- VALVE
- FIRE HYDRANT
- CLEANOUT
- EDGE OF PROPOSED PAVEMENT (ASPHALT)
- DIRECTION OF SURFACE DRAINAGE
- SAMPLE POINT
- EXIST. WATER LINE
- EXIST. UTILITY LINE TO BE REMOVED
- PROPOSED CONCRETE
- FIRE DEPARTMENT SIAMSE CONNECTION



LEGAL DESCRIPTION

Parcel "A", BUD PLAT, according to the Plat thereof as recorded in Plot Book 125, Page 2 of the Public Records of Broward County, Florida.

AND

Parcel "A", BUDLIGHT PLAT, according to the Plat thereof as recorded in Plot Book 141, Page 6 of the Public Records of Broward County, Florida.

Said lands situate in the City of Dania Beach, Broward County, Florida and containing 343,002 square feet (7.874 acres) more or less.

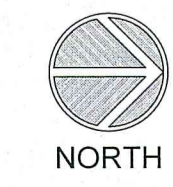
LEGEND

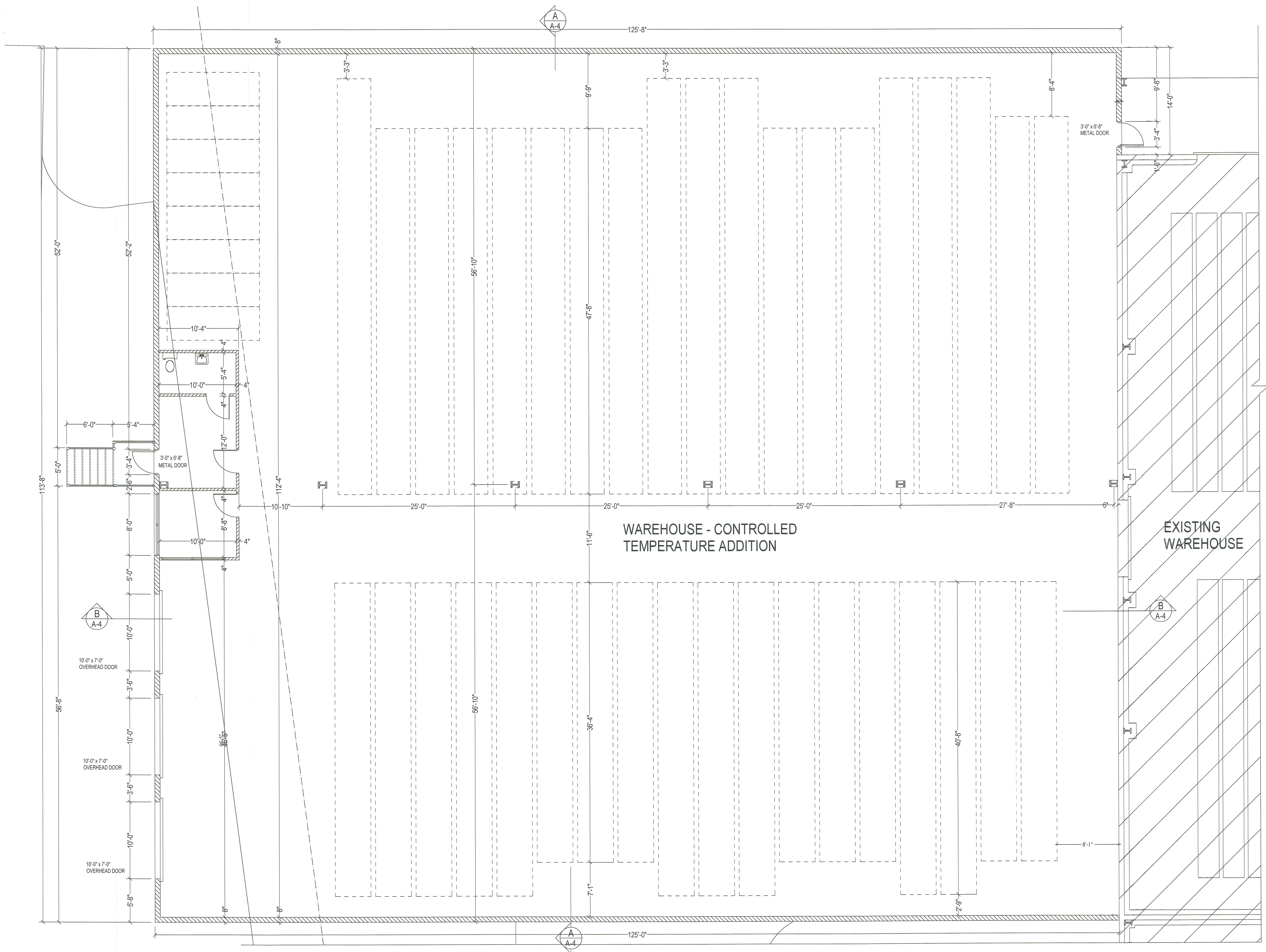
- | | | |
|---|--|--|
| <ul style="list-style-type: none"> PROPOSED ELEVATION EXISTING ELEVATION PROPOSED CATCH BASIN PROPOSED PLUG TEE WATER METER DOUBLE DETECTOR CHECK W/ WAFER CHECK VALVE ON DOWNSTREAM SIDE REDUCED PRESSURE BACKFLOW PREVENTOR | <ul style="list-style-type: none"> DIRECTIONAL FLOW ARROW AND GRAVITY SEWER PROPOSED MANHOLE WATER MAIN SANITARY FORCE MAIN VALVE FIRE HYDRANT CLEANOUT EDGE OF PROPOSED PAVEMENT (ASPHALT) DIRECTION OF SURFACE DRAINAGE | <ul style="list-style-type: none"> SAMPLE POINT EXIST. WATER LINE EXIST. UTILITY LINE TO BE REMOVED FENCE LINE DEMO PROPOSED CONCRETE FIRE DEPARTMENT SIAMSESE CONNECTION |
|---|--|--|

Aug 24, 2015 10:57am

LOCATION MAP
 SCALE: N.T.S.

PRELIMINARY PLANS FOR
 PUBLIC AGENCY REVIEW ONLY





REVISIONS

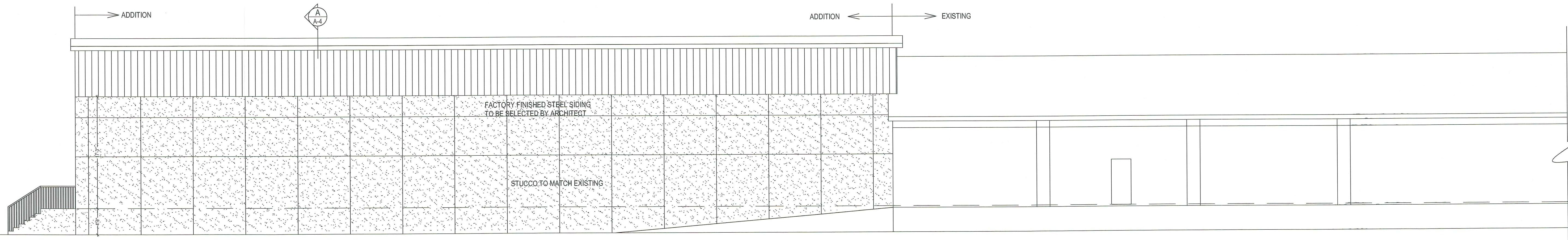
STEPHENS DISTRIBUTING CO
 185 SOUTH RAVENSWOOD ROAD
 CITY OF DANIA, FLORIDA

ARCHITECTURE - PLANNING - GOVERNMENTAL RELATIONS
ARTHUR S. BENGOCHEA
 6 SE 9th AVENUE
 FORT LAUDERDALE, FLORIDA 33301
 telephone (954) 527,0014 telecopier (954) 467-9235
 email: abengoch@belsouth.net

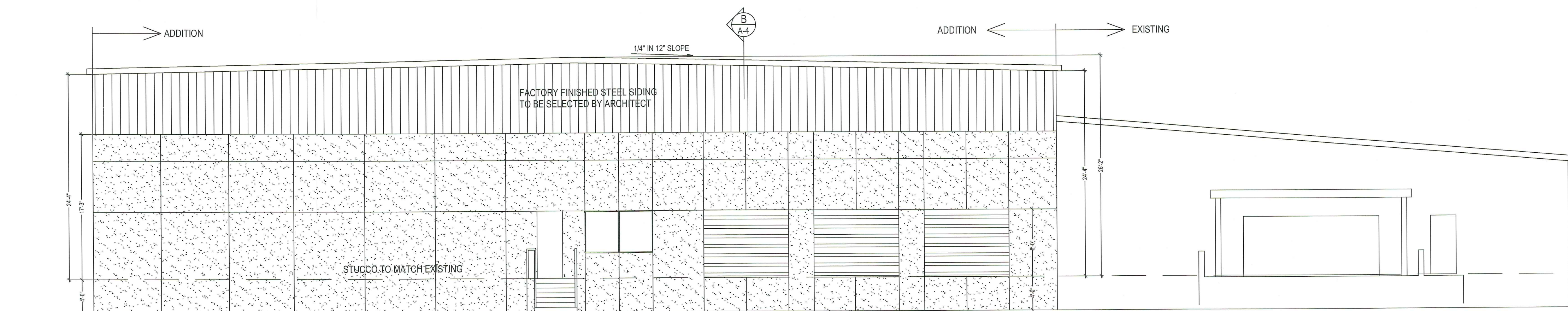
A. S. BENGOCHEA
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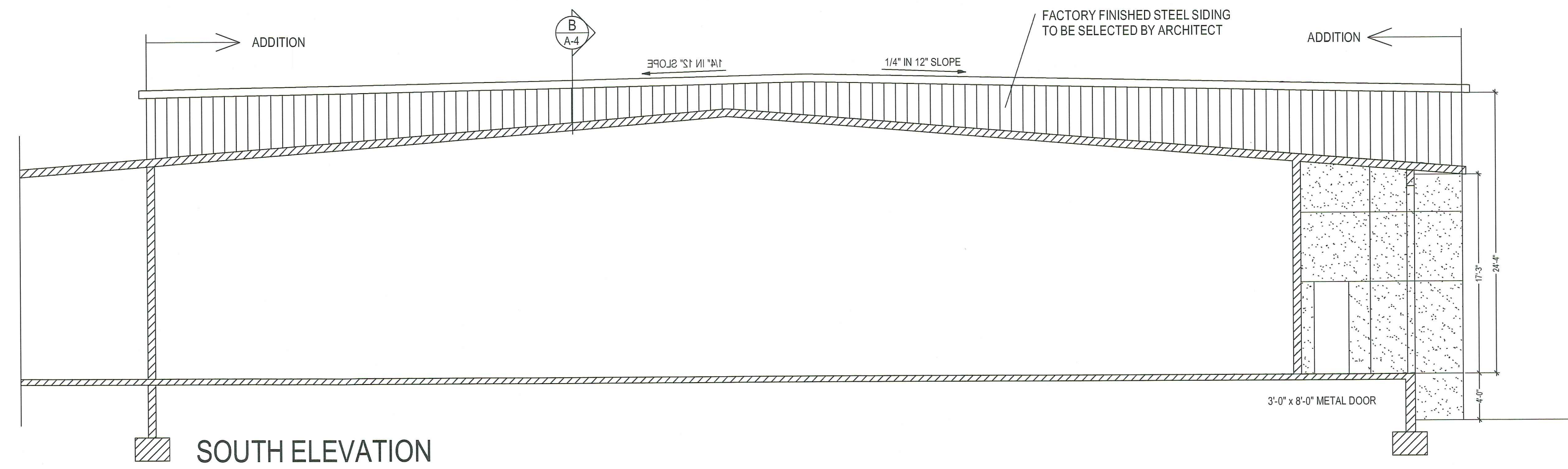
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A-2
 OF
 JOB NUMBER



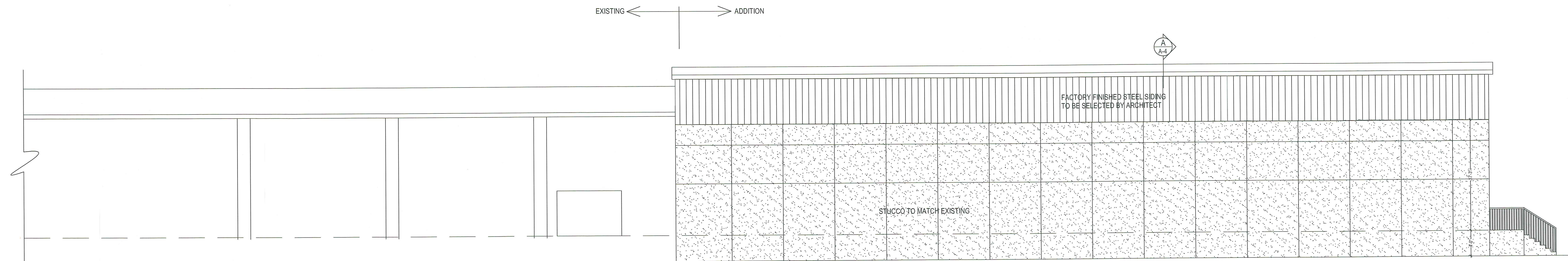
WEST ELEVATION



NORTH ELEVATION



SOUTH ELEVATION



EAST ELEVATION

REVISIONS

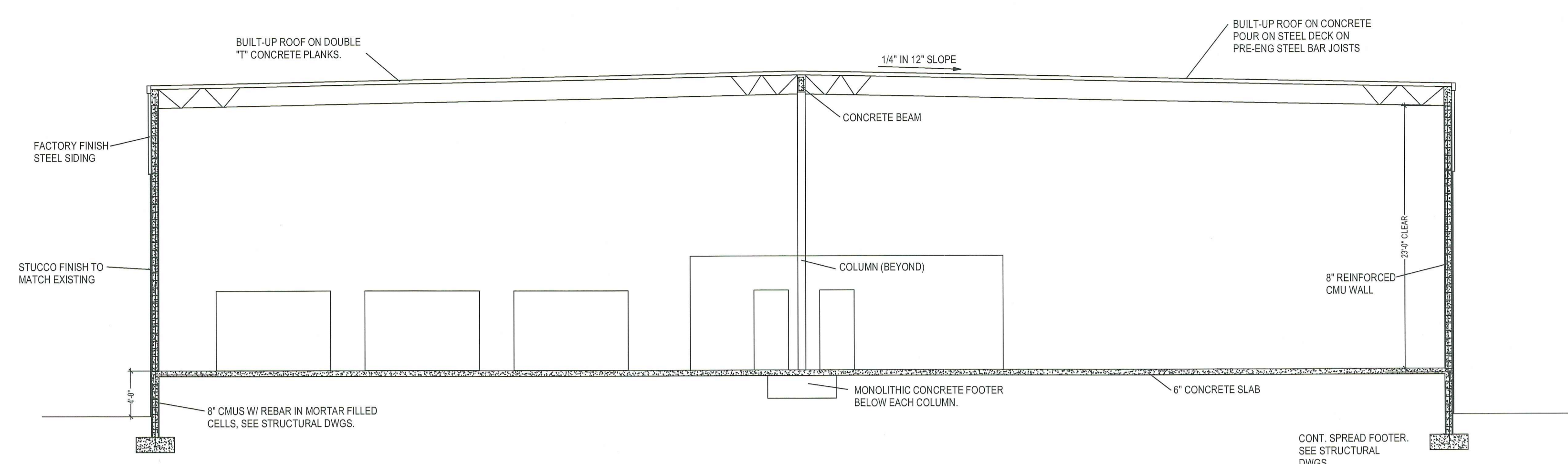
STEPHENS DISTRIBUTING CO
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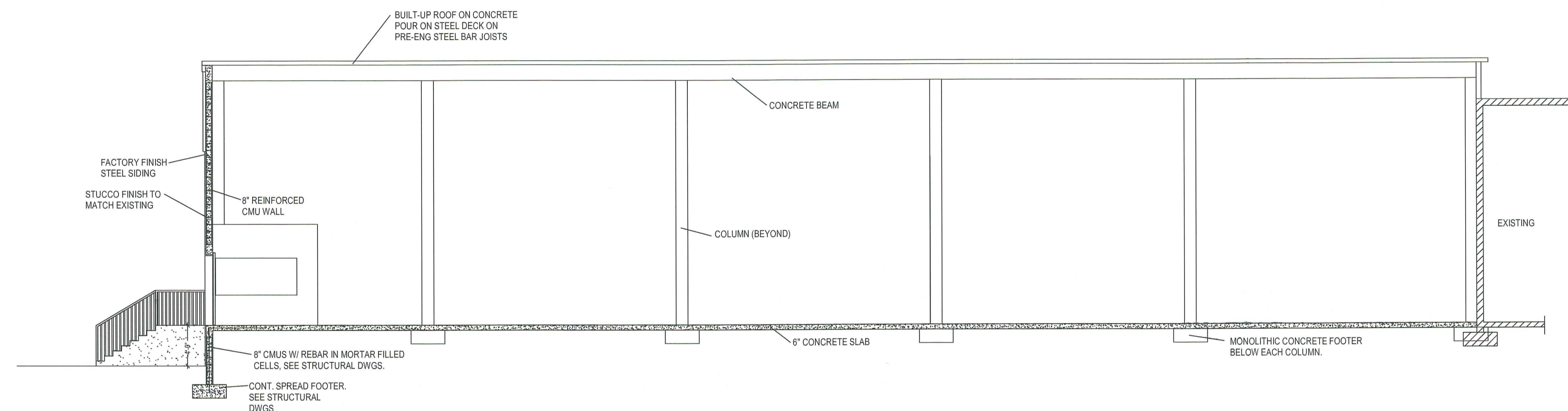
A. S. BENGOCHEA
FLA. ARCH. # 93920

DATE 4-8-15
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SHEET:
A-3
OF
JOB NUMBER



SECTION A-A



SECTION B-B

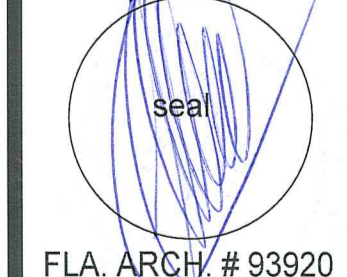
REVISIONS

STEPHENS DISTRIBUTING CO
 185 SOUTH RAVENSWOOD ROAD
 CITY OF DANIA, FLORIDA

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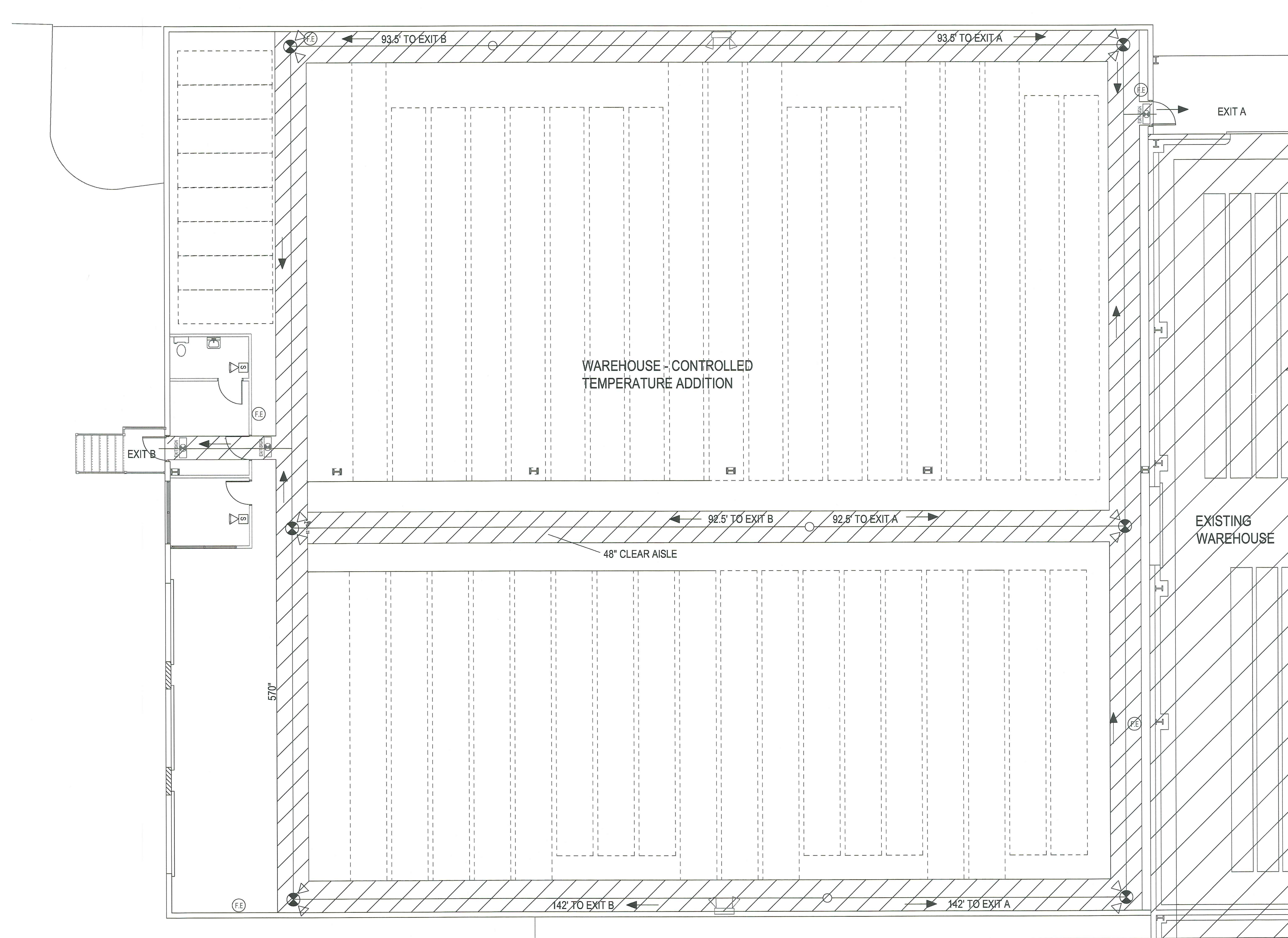
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SHEET:

A-4

OF
 JOB NUMBER



LIFE SAFETY PLAN

- NOTES:**
1. LIFE SAFETY SHALL COMPLY WITH NFPA 101 (2012 EDITION) AND THE FLORIDA FIRE PREVENTION CODE (2014) EDITION.
 2. STRUCTURES UNDERGOING CONSTRUCTION, ALTERATION, OR DEMOLITION SHALL COMPLY WITH NFPA 241 2013 EDITION.
 3. CONSTRUCTION AND/OR DEMOLITION OPERATIONS SHALL NOT INTERFERE OR HINDER EMERGENCY RESPONDER ACCESS TO THE SAID PROPERTY OR THE VICINITY THEREOF (INCLUDING FIRE LANES).

SYMBOL LEGEND	
	SMOKE DETECTOR
	EXIT SIGN W/ BATTERY BACKUP
	EMERGENCY LIGHT W/ BATTERY BACKUP PACK
	EMERGENCY / EXIT LIGHT COMBO W/ BATTERY BACKUP PACK (led to adjacent light circuit ahead of the switch)
	STROBE LIGHT W/ BATTERY BACKUP PACK (led to adjacent light circuit ahead of the switch)
	DIRECTION OF PATH TO EGRESS
	40 LBS. FIRE EXTINGUISHER CLASS ABC

CATEGORY	REQUIREMENTS	REFERENCE	REMARKS
USE GROUP EXIST. BLDG.		FBC SEC. 311.3	STORAGE - LOW HAZARD
OCCUPANCY		FBC SEC. 311.3	GROUP S-2
CLASSIFICATION OF WORK	LEVEL 3 ALTERATIONS	FBC 505 EXIST. LEVEL 3	WORK LESS THAN 30%
AREA - SCOPE OF WORK		14,217 SQ. FT.	
CONSTRUCTION TYPE		FBC 601.2	TYPE II-B unsprinkered
FIRE RESISTANCE RATINGS			
	Structural frames		0
	Exterior bearing walls		0
	Interior bearing walls		0
	Non-bearing walls & partitions		0
	Floor construction		0
	Roof construction		0
OCCUPANT LOAD			
		FBC TABLE 1004.1.2	1:300 = 48 PERSONS
EGRESS WIDTH			
	0.2' PER OCCUPANT	FBC TABLE 1006.3.2	48 X 2' = 9.6' (96" Provided)
NUMBER EXITS			
	OCCUPANCY S	FBC 1015.1 / 1015.2	2 REQUIRED
TRAVEL DISTANCE			
	REFURBISHED ROOM (150' MAX GROUP 3)	FBC 1015.3 / 1016.2	142' 0"
CORRIDOR WIDTH			
	NA NO CORRIDORS	FBC 1016.4	0'

OCCUPANCY CALCULATIONS			PER TABLE 1004.1.2 2014 FBC 5th EDITION
STORAGE - LOW HAZARD	14,217 sq. ft.	14,217 sq. ft. / 350 sq. ft. gross =	47.39 = 48
TOTAL	14,217 sq. ft.		48 PERSONS

REVISIONS

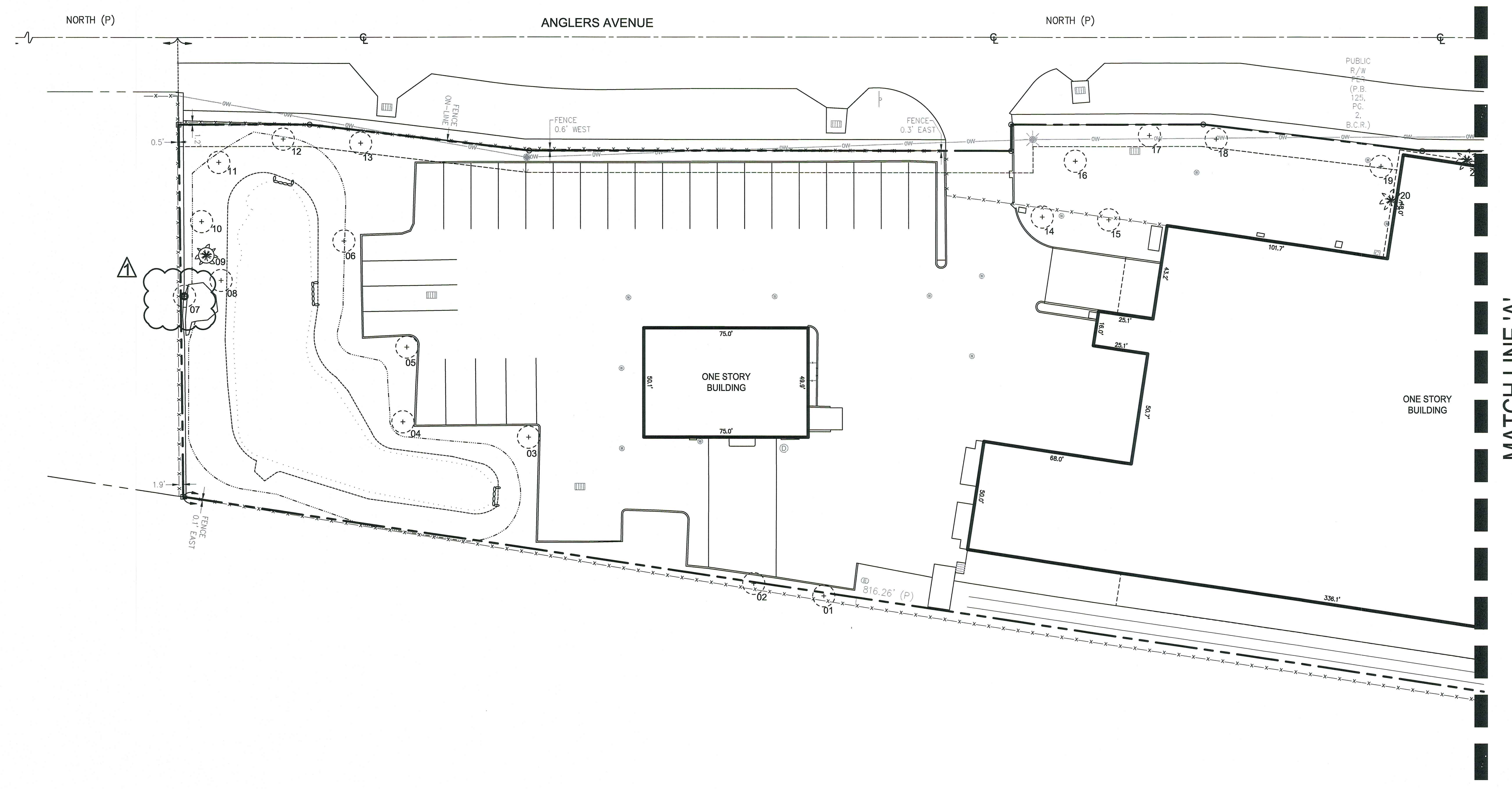
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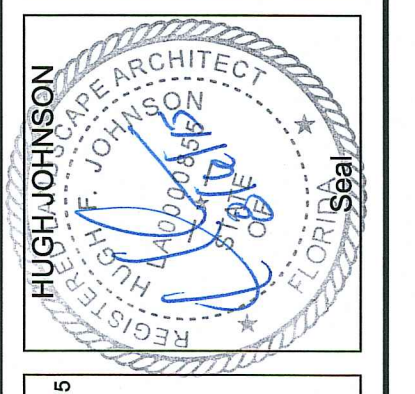
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SHEET:
A-5
OF
JOB NUMBER



LEGEND	
	EXISTING TREE TO REMAIN
	EXISTING TREE TO BE REMOVED
	EXISTING PALM TO REMAIN
	EXISTING PALM TO BE REMOVED
	EXISTING PALM TO BE RELOCATED

AAL
 Architectural Alliance Landscape
 612 SW 4th Ave., Fort Lauderdale, FL 33315 LCC0000237
 TEL: 954-764-8858 FAX: 954-764-8858 EMAIL: hjohnson@aal.com



PRC COMMENTS 07-01-15
 Revision Dates

Tree Disposition Plan
Stephens Distributing Company
 185 Ravenwood Road, Dania Beach Florida

Sheet Description Tree Disposition Plan
Release Date 07-27-15
Project Number 1509
Drawing Number TS-1
Sheet 1 of 3

SCALE: 1"=30'-0"

811 KNOW WHAT'S BELOW
 ALWAYS CALL 811 BEFORE YOU DIG
 Call 811 two business days before digging



Revision Dates

Tree Disposition Plan
Stephens Distributing Company
 185 Ravenwood Road, Dania Beach Florida

Sheet Description
 Tree Disposition Plan

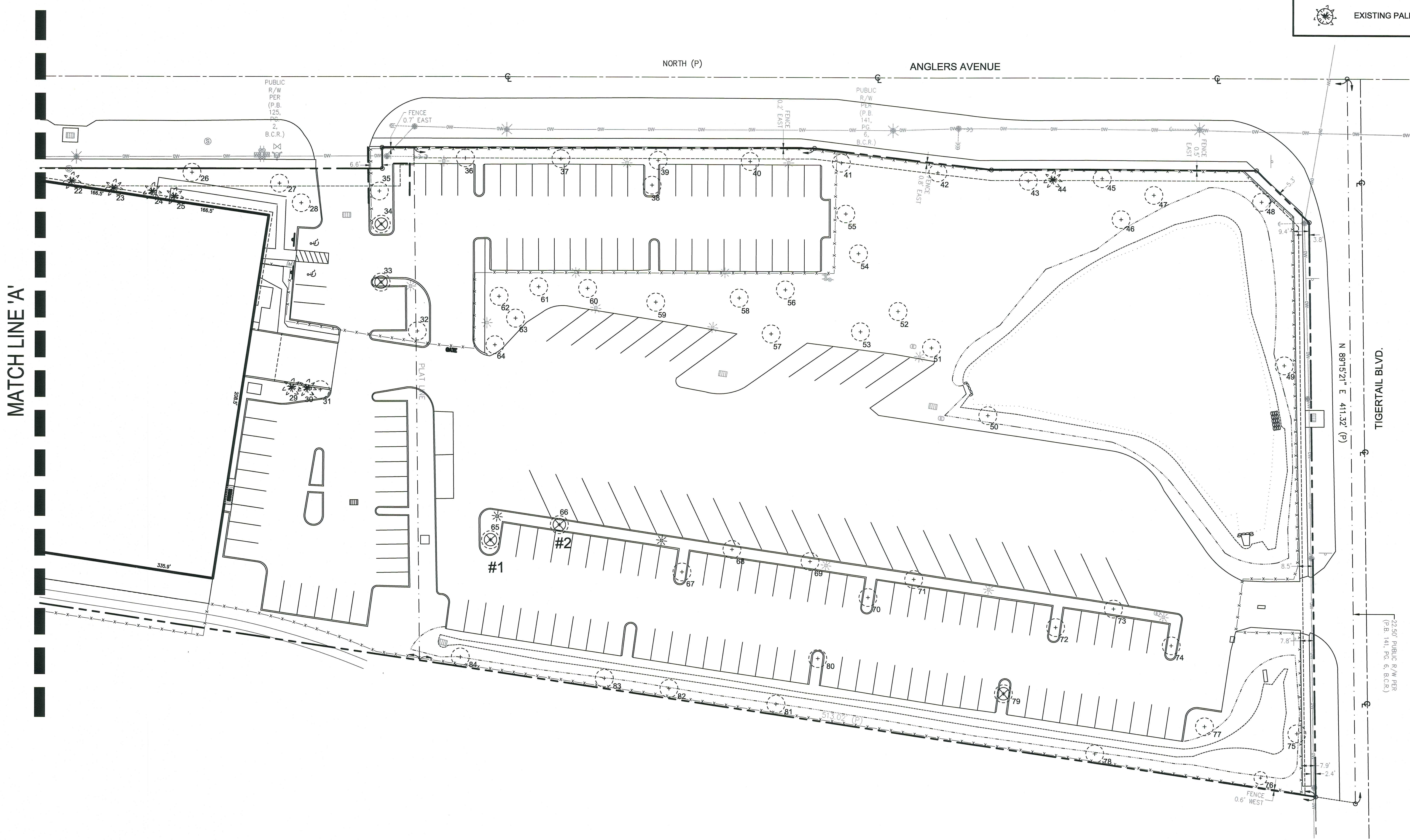
Release Date
 07-27-15

Project Number
 1509

Drawing Number
TS-2
 Sheet 2 of 3

LEGEND

- EXISTING TREE TO REMAIN
- EXISTING TREE TO BE REMOVED
- EXISTING PALM TO REMAIN
- EXISTING PALM TO BE REMOVED
- EXISTING PALM TO BE RELOCATED

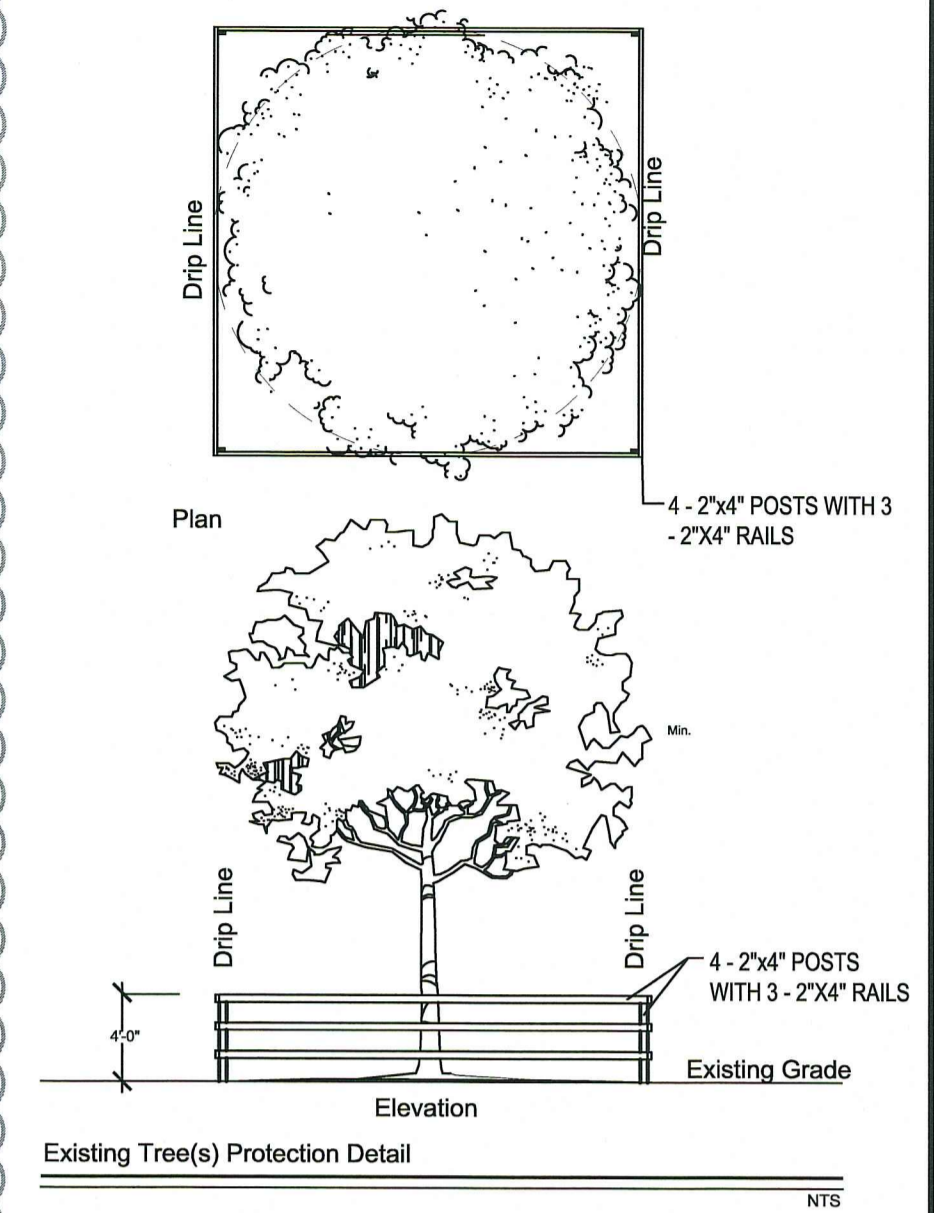


SCALE: 1"=30'-0"

811 KNOW WHAT'S BELOW
 ALWAYS CALL 811 BEFORE YOU DIG
 It's Fast, It's Free, It's the Law.
 Call 811 Two Business Days before digging.

#	Species	Native	DBH	Canopy S.F.	Remain	Remove	Relocate	Cond.	Value
01	Pongamia pinnata / Pongam		15"	490	X			65%	
02	Pongamia pinnata / Pongam		9"	154	X			50%	
03	Pongamia pinnata / Pongam		14"	706	X			60%	
04	Pongamia pinnata / Pongam		9"	113	X			30%	
05	Pongamia pinnata / Pongam		22"	314	X			50%	\$901
06	Pongamia pinnata / Pongam		14"	314	X			60%	
07	Ficus aurea / Strangler Fig		40"	490	X			40%	\$2,834
08	Quercus virginiana / Live Oak	X	13"	706	X			50%	
09	Sabal palmetto / Cabbage Palm	X	22"	154			X	75%	\$180
10	Quercus virginiana / Live Oak	X	15"	490	X			60%	
11	Quercus virginiana / Live Oak	X	20"	1964	X			70%	\$3,001
12	Quercus virginiana / Live Oak	X	20"	706	X			70%	\$3,001
13	Quercus virginiana / Live Oak	X	10"	176	X			50%	
14	Quercus virginiana / Live Oak	X	15"	706	X			60%	
15	Pongamia pinnata / Pongam		22"	706	X			35%	\$1,891
16	Quercus virginiana / Live Oak	X	22"	1256	X			35%	\$1,891
17	Quercus virginiana / Live Oak	X	16"	1256	X			65%	
18	Quercus virginiana / Live Oak	X	20"	1256	X			65%	\$2,933
19	Quercus virginiana / Live Oak	X	17"	706	X			65%	
20	Phoenix roebelenii / Pygmy Date Palm		4"	28	X			60%	
21	Phoenix roebelenii / Pygmy Date Palm		4"	28	X			60%	
22	Phoenix roebelenii / Pygmy Date Palm		4"	28	X			60%	
23	Phoenix roebelenii / Pygmy Date Palm		4"	28	X			60%	
24	Phoenix roebelenii / Pygmy Date Palm		4"	28	X			60%	
25	Phoenix roebelenii / Pygmy Date Palm		4"	28	X			60%	
26	Quercus virginiana / Live Oak	X	23"	1256	X			60%	\$3,526
27	Quercus virginiana / Live Oak	X	18"	1256	X			60%	\$2,222
28	Pongamia pinnata / Pongam		36"	1256	X			65%	\$4,511
29	Syagrus romanzoffiana / Queen Palm		8"	12	X			70%	
30	Syagrus romanzoffiana / Queen Palm		6"	14	X			60%	
31	Quercus virginiana / Live Oak	X	12"	1256	X			60%	
32	Quercus virginiana / Live Oak	X	18"	2827	X			80%	\$2,962
33	Pongamia pinnata / Pongam		14"	706		X		60%	\$1,255
34	Quercus virginiana / Live Oak	X	11"	706		X		40%	\$554
35	Quercus virginiana / Live Oak	X	14"	314	X			40%	
36	Swietenia mahogani / Mahogany	X	24"	1964	X			60%	\$3,717
37	Swietenia mahogani / Mahogany	X	24"	1964	X			65%	\$4,027
38	Quercus virginiana / Live Oak	X	13"	314	X			65%	
39	Swietenia mahogani / Mahogany	X	20"	1964	X			65%	\$2,816
40	Swietenia mahogani / Mahogany	X	18"	1964	X			65%	\$2,816
41	Swietenia mahogani / Mahogany	X	18"	490	X			70%	\$2,816
42	Swietenia mahogani / Mahogany	X	22"	1265	X			60%	\$2,438
43	Swietenia mahogani / Mahogany	X	10"	70	X			40%	
44	Sabal palmetto / Cabbage Palm	X	12"	64	X			65%	\$156
45	Swietenia mahogani / Mahogany	X	18"	1964	X			60%	\$2,466
46	Swietenia mahogani / Mahogany	X	20"	1964	X			65%	\$2,816
47	Swietenia mahogani / Mahogany	X	20"	1964	X			65%	\$2,816
48	Swietenia mahogani / Mahogany	X	24"	1964	X			65%	\$4,027
49	Swietenia mahogani / Mahogany	X	24"	2827	X			65%	\$4,027
50	Quercus virginiana / Live Oak	X	24"	1964	X			70%	\$3,471
51	Quercus virginiana / Live Oak	X	20"	1964	X			70%	\$2,457
52	Quercus virginiana / Live Oak	X	18"	706	X			70%	\$2,016
53	Quercus virginiana / Live Oak	X	15"	314	X			65%	
54	Quercus virginiana / Live Oak	X	15"	706	X			60%	
55	Quercus virginiana / Live Oak	X	15"	1964	X			70%	
56	Quercus virginiana / Live Oak	X	20"	2827	X			95%	\$3,334
57	Quercus virginiana / Live Oak	X	33"	2827	X			95%	\$8,731
58	Quercus virginiana / Live Oak	X	38"	2827	X			95%	\$10,053
59	Quercus virginiana / Live Oak	X	40"	2827	X			95%	\$10,582
60	Quercus virginiana / Live Oak	X	9"	706	X			70%	

#	Species	Native	DBH	Canopy S.F.	Remain	Remove	Relocate	Cond.	Value
61	Quercus virginiana / Live Oak	X	14"	706	X			70%	
62	Quercus virginiana / Live Oak	X	15"	706	X			70%	
63	Quercus virginiana / Live Oak	X	11"	706	X			70%	
64	Quercus virginiana / Live Oak	X	12"	706	X			70%	
65	Quercus virginiana / Live Oak	X	10"	706		X		60%	\$536
66	Quercus virginiana / Live Oak	X	13"	706		X		65%	\$897
67	Quercus virginiana / Live Oak	X	15"	1256	X			70%	
68	Quercus virginiana / Live Oak	X	14"	1256	X			70%	
69	Quercus virginiana / Live Oak	X	9"	490	X			60%	
70	Quercus virginiana / Live Oak	X	9"	176	X			55%	
71	Quercus virginiana / Live Oak	X	15"	1256	X			65%	
72	Quercus virginiana / Live Oak	X	8"	113	X			60%	
73	Quercus virginiana / Live Oak	X	11"	706	X			65%	
74	Quercus virginiana / Live Oak	X	8"	113	X			40%	
75	Swietenia mahogani / Mahogany	X	18"	1964	X			65%	\$2,816
76	Swietenia mahogani / Mahogany	X	22"	1964	X			60%	\$2,786
77	Swietenia mahogani / Mahogany	X	18"	706	X			60%	\$1,644
78	Swietenia mahogani / Mahogany	X	15"	706	X			65%	
79	Quercus virginiana / Live Oak	X	5"	50		X		30%	\$91
80	Quercus virginiana / Live Oak	X	5"	113	X			55%	
81	Swietenia mahogani / Mahogany	X	18"	706	X			50%	\$1,174
82	Swietenia mahogani / Mahogany	X	16"	1964	X			30%	
83	Swietenia mahogani / Mahogany	X	24"	1964	X			80%	\$3,304
84	Swietenia mahogani / Mahogany	X	24"	1964	X			65%	\$2,685



Tree Appraisal Evaluations

Trunk Formula Method (On Trees)
 Appraised value=Basic tree Cost x Species % x Condition % x Location %
 Basic Tree Cost=Trunk Area Increase of appraised Tree x Unit Tree Cost + Installed Tree Cost
 Location=(Site % + Contribution % + Placement %) /3
 Example:
 Tree # 33 Quercus virginiana 14" Diameter
 Condition= Fair (60%)
 Appraised Trunk Area=154 sq. in.
 Appraised Trunk Area Increase=(154 -13)=141 sq.in.
 Basic Tree Cost (141 x 15 + 500)=2,615
 Location= 80%
 Appraised value=2,615 x 100% x 60% x 80%=1,255

REQUIRED MITIGATION

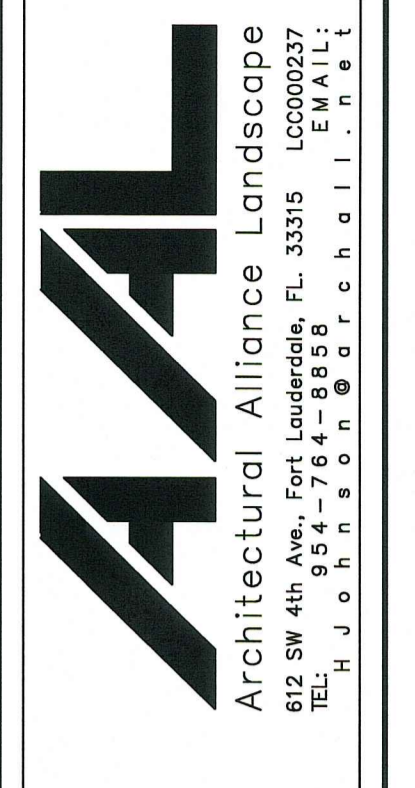
5 TREES REMOVED FROM SITE FOR A TOTAL CANOPY LOSS OF 1,500 S.F. MITIGATION TO COMPLY WITH SECTION 825-100 (5) AND ADDITIONAL 50% REPLACEMENT IS REQUIRED ON SITE. LANDSCAPE PLAN HAS ADDITIONAL 8 TREES TO COMPLY WITH MITIGATION REQUIREMENTS 1,500 S.F. (100%)+750 S.F. (ADDITIONAL 50%)
 A BREAKDOWN OF THE REPLACEMENT CANOPY COVERAGE IS BELOW:

8	TOTAL TREES	
8	NATIVE TREES	
1	VARIETIES OF TREES	
8	CATEGORY 1 - 300 s.f. each	2,400 s.f.

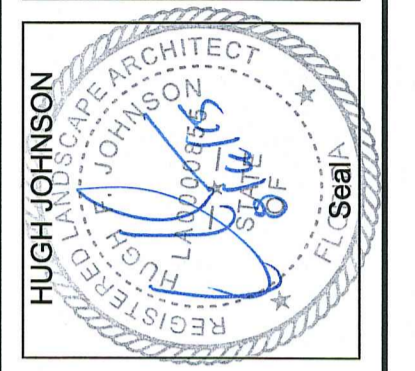
SITE'S REQUIRED CANOPY COVERAGE

THE ACCOMPANYING LANDSCAPE PLAN HAS 146 TREES AND PALMS BEING INSTALLED FOR A TOTAL REPLACEMENT CANOPY OF 26,800 S.F. A BREAKDOWN OF THE REPLACEMENT CANOPY COVERAGE IS BELOW:

147	TOTAL TREES AND PALMS (PALMS COUNTED 1:1 FOR REPLACEMENT PURPOSES)	
121	NATIVE TREES AND PALMS	
9	VARIETIES OF TREES AND PALMS	
61	CATEGORY 1 - 300 s.f. each	18,300 s.f.
6	CATEGORY 2 - 150 s.f. each	900 s.f.
73	CATEGORY 3 - 100 s.f. each	7,300 s.f.
6	CATEGORY 4 - 50 s.f. each	300 s.f.
		26,800 s.f.
TOTAL NEW CANOPY		29,200 s.f.



Architectural Alliance Landscape
 812 SW 4th Ave., Fort Lauderdale, FL 33315 LCC00037
 TEL: 954-764-8888 E.M.A.L.L.
 H. J. O. H. N. S. O. N. S. O. N. S. O. N.



HUGH JOHNSON
 REGISTERED PROFESSIONAL ARCHITECT
 FLORIDA ARCHITECTURAL BOARD
 No. 12345
 EXPIRES 07-27-15

Tree Disposition Table and Details

Stephens Distributing Company

185 Ravenwood Road, Dania Beach Florida

Revision Dates

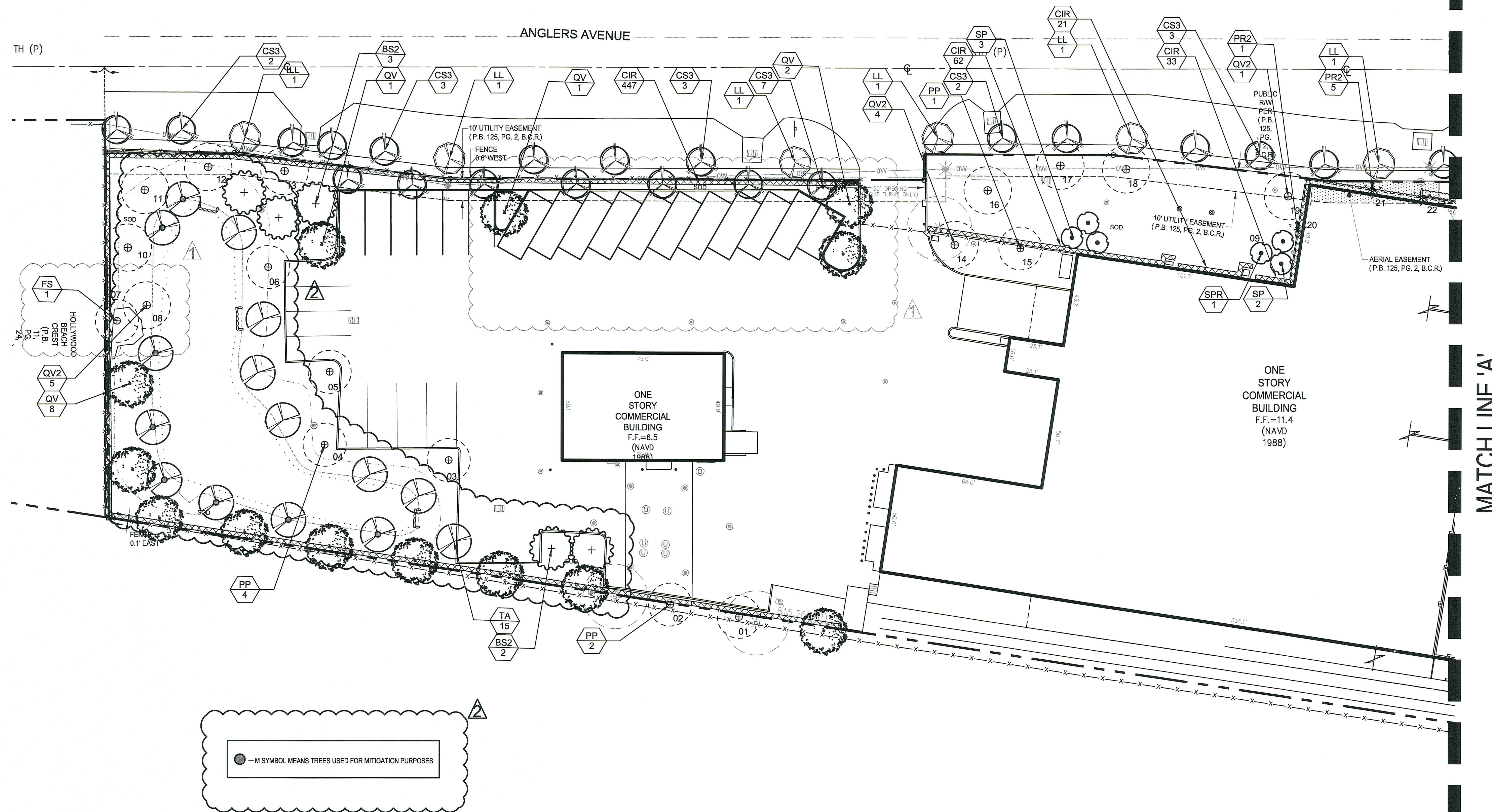
Sheet Description
 Tree Disposition Table
 And Details

Release Date
 07-27-15

Project Number
 1509

Drawing Number
TS-3
 Sheet 3 of 3





MATCH LINE 'A'

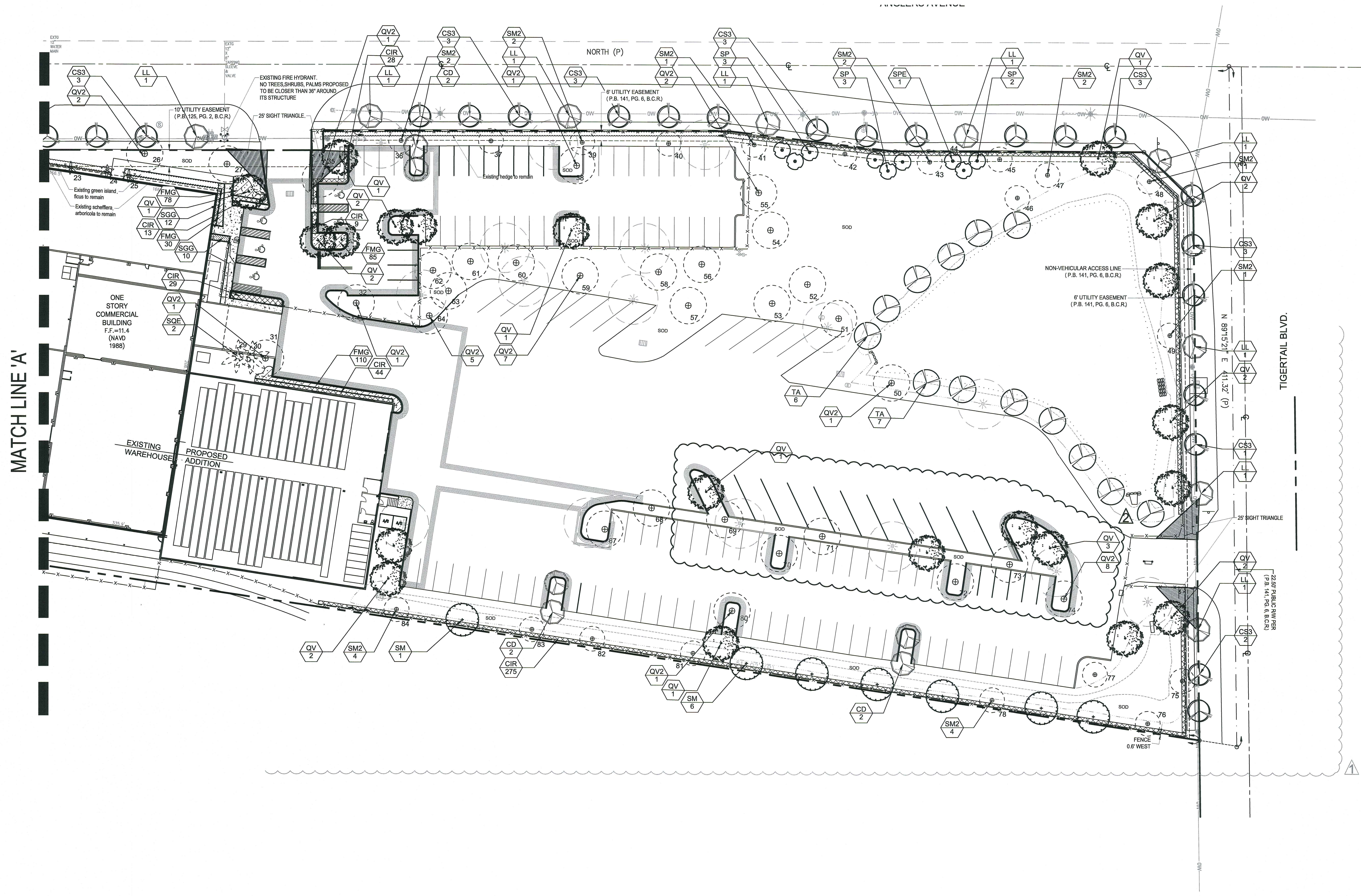
SCALE: 1"=30'-0"



Revision	Revision Dates
A	DRG COMMENTS 07-01-15
B	DRG COMMENTS 07-27-15

Landscape Plan
Stephens Distributing Company
 185 Ravenwood Road, Dania Beach Florida

Sheet Description Landscape Plan
Release Date 07-27-15
Project Number 1509
Drawing Number LP-1
Sheet 1 of 3



MATCH LINE 'A'

SCALE: 1"=30'-0"



HUGH JOHNSON
 REG. PROFESSIONAL ENGINEER
 STATE OF FLORIDA
 LICENSE NO. 12345

DRG COMMENTS 07-27-15
 DRG COMMENTS 07-27-15

Landscape Plan
Stephens Distributing Company
 185 Ravenwood Road, Dania Beach Florida

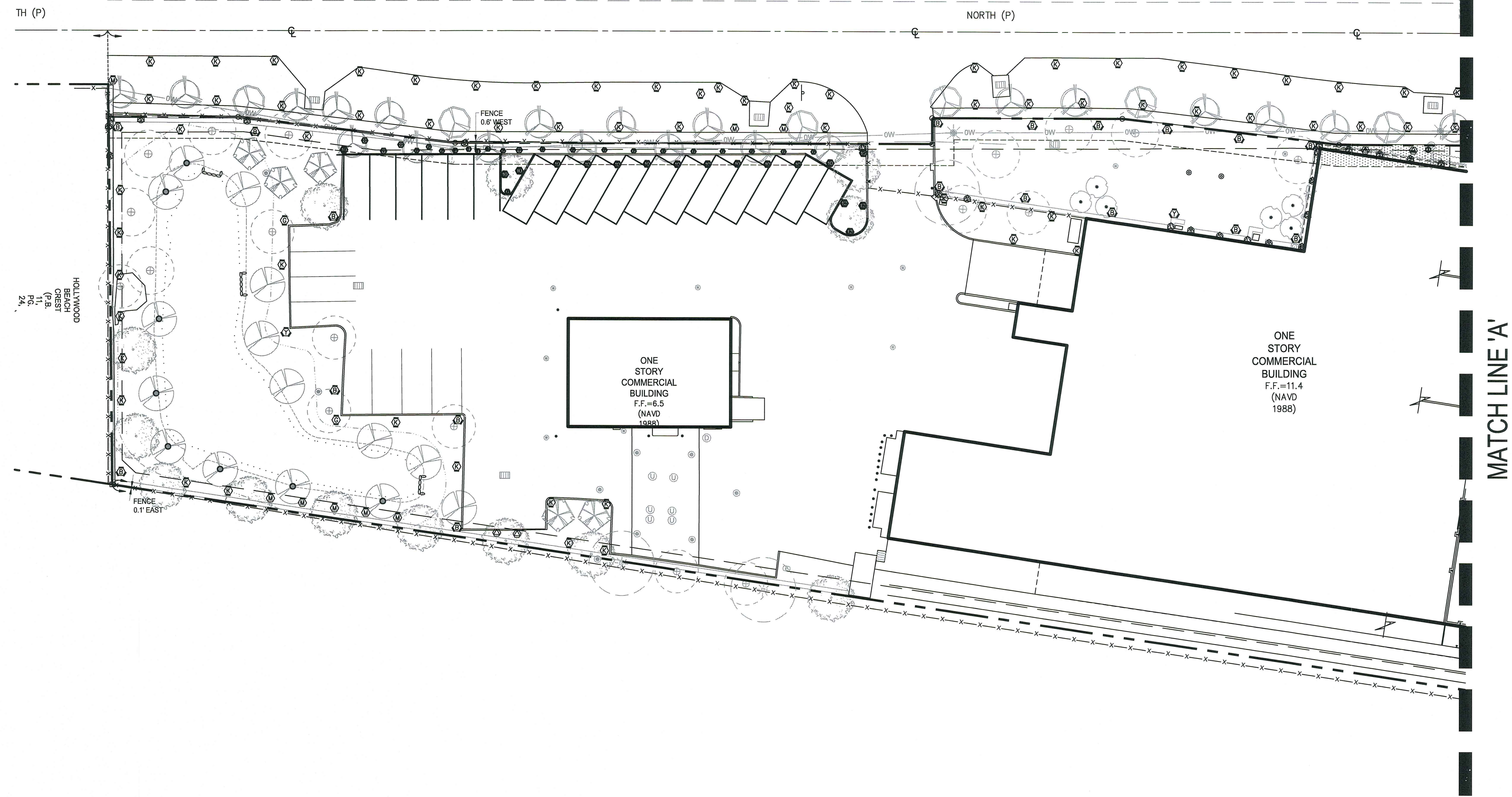
Sheet Description
 landscape Plan

Release Date
 07-27-15

Project Number
 1509

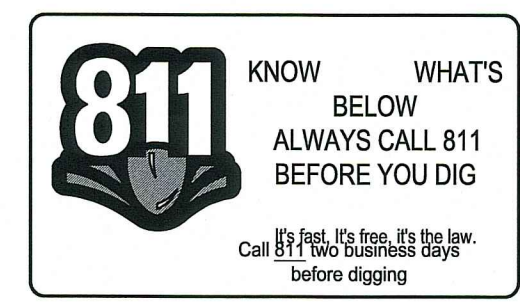
Drawing Number
LP-2

Sheet 2 of 3



MATCH LINE 'A'

SCALE: 1"=30'-0"



AAL
 Architectural Alliance Landscape
 812 SW 4th Ave., Fort Lauderdale, FL 33315 LCC000237
 TEL: 954-561-8888 FAX: 954-561-8888
 H. J. Johnson, P.E., C.R.C., F.C.S., F.L.S., F.P.S., F.S.P.



Revision Dates

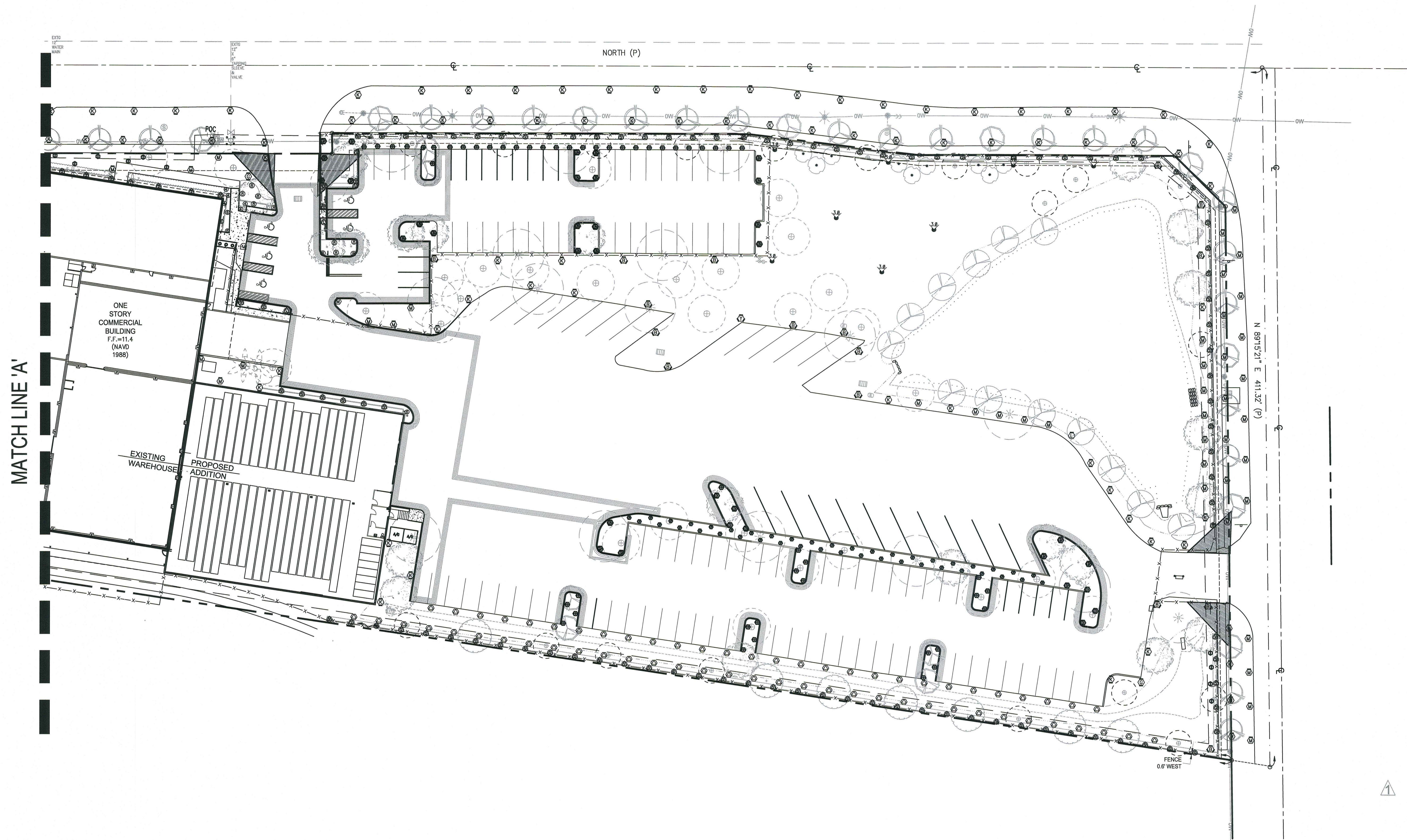
Irrigation Plan
Stephens Distributing Company
 185 Ravenwood Road, Dania Beach Florida

Sheet Description
 Irrigation Plan

Release Date
 07-27-15

Project Number
 1509

Drawing Number
LI-1
 Sheet 1 of 3



MATCH LINE 'A'

ONE STORY COMMERCIAL BUILDING F.F.=11.4 (NAVD 1988)

EXISTING WAREHOUSE PROPOSED ADDITION

NORTH (P)

FENCE 0.6' WEST

N 89°15'21" E 411.32' (P)

SCALE: 1"=30'-0"

811 KNOW WHAT'S BELOW ALWAYS CALL 811 BEFORE YOU DIG
Call 811 for all utility work before digging

AAL
 Architectural Alliance Landscape
 612 SW 4th Ave., Fort Lauderdale, FL 33315 LCC000237
 H. J. Johnson, P.E., L.A.S.C., L.C.S.

HUGH JOHNSON
 RLA #655
 ARCHITECT
 H. J. Johnson, P.E., L.A.S.C., L.C.S.

Revision Dates

Irrigation Plan
Stephens Distributing Company
 185 Ravenwood Road, Dania Beach Florida

Sheet Description
 Irrigation Plan

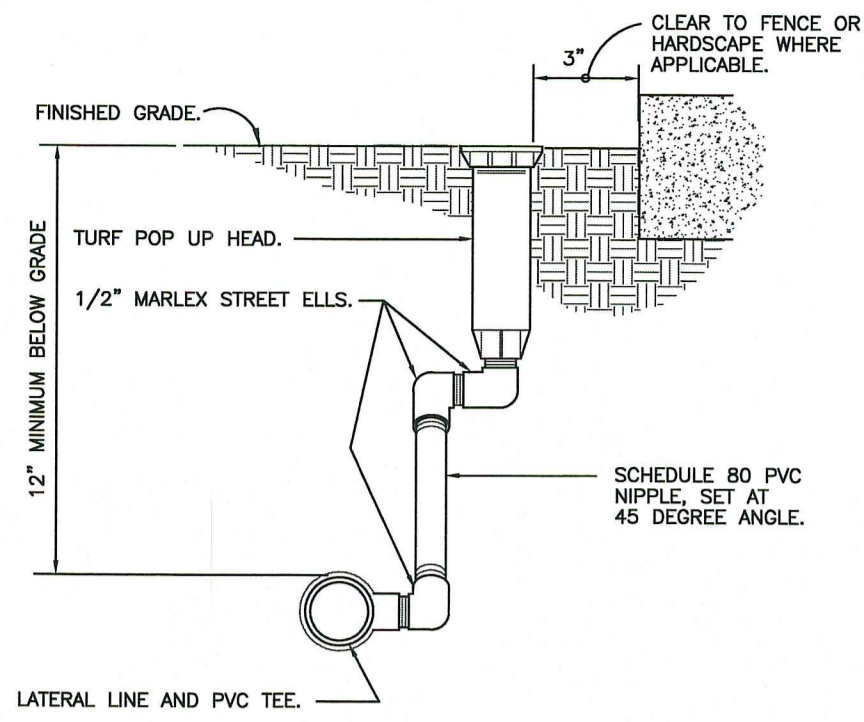
Release Date
 07-27-15

Project Number
 1509

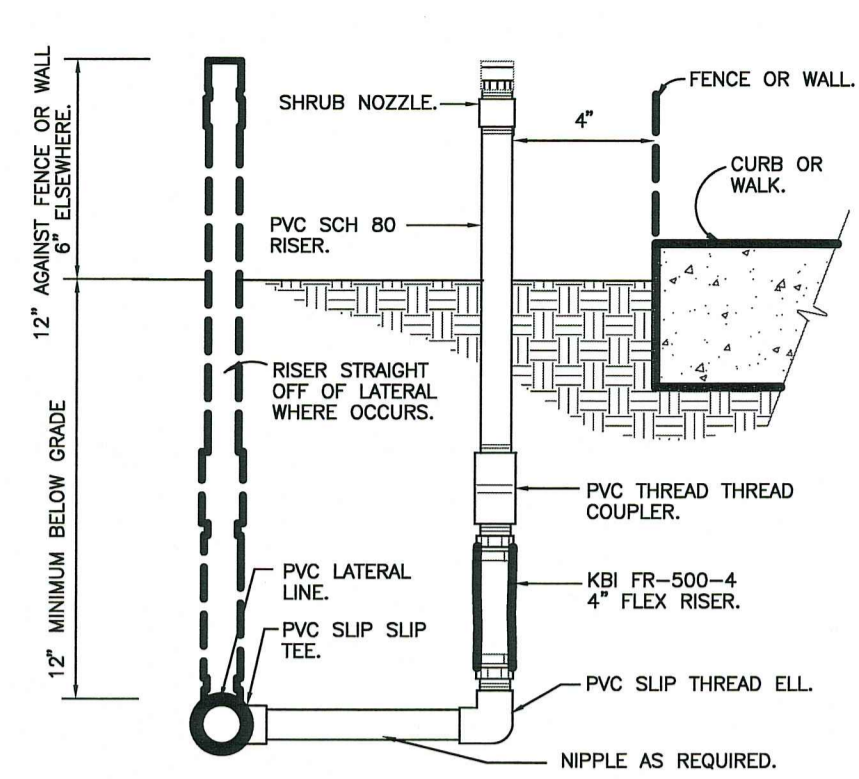
Drawing Number

LI-2

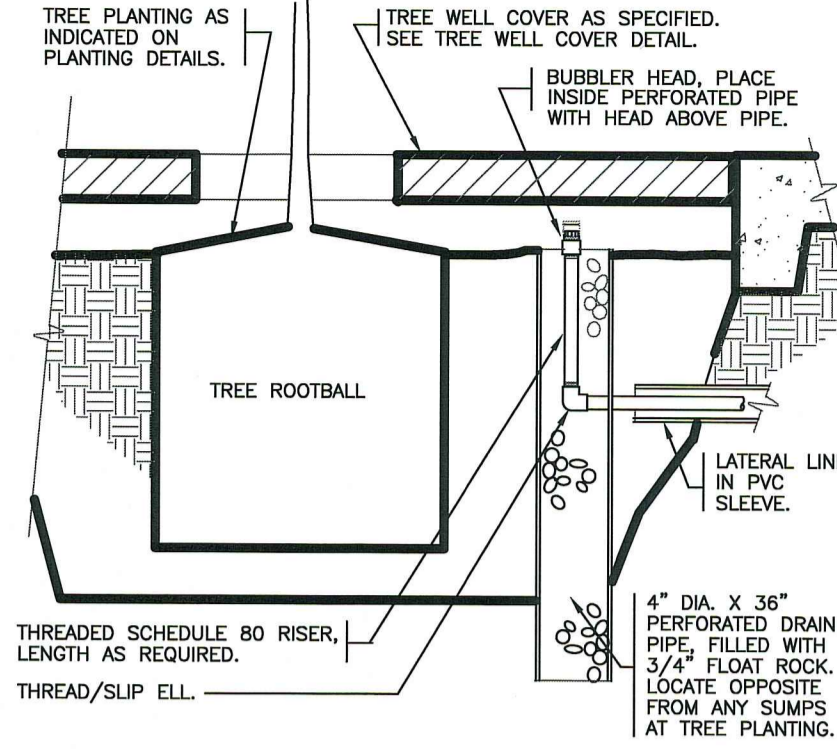
Sheet 2 of 3



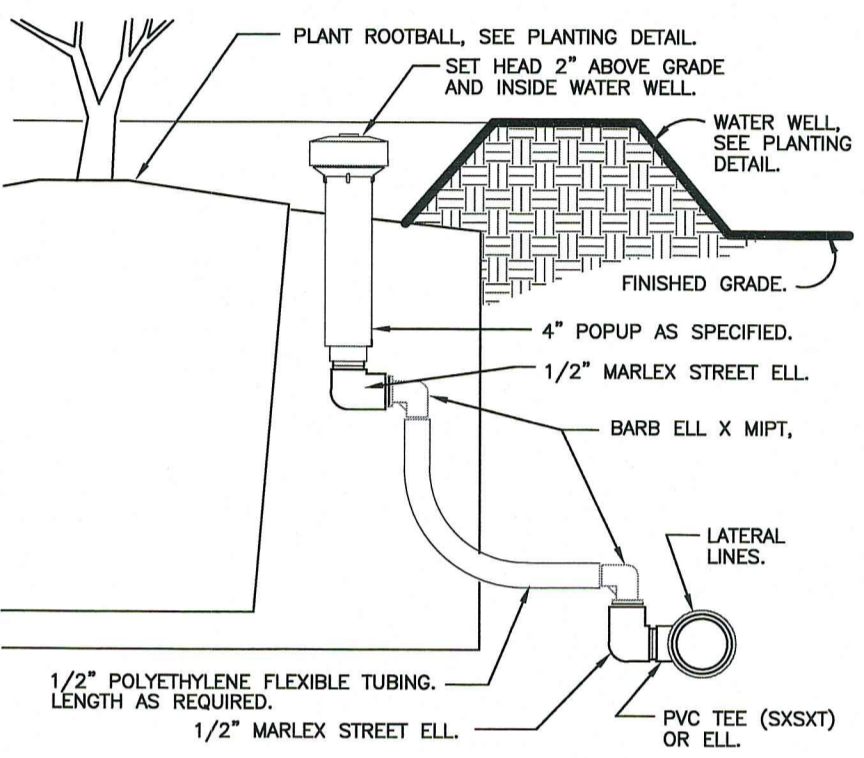
1 TURF SPRAY MARLEX ASSEMBLY
3" = 1'-0"



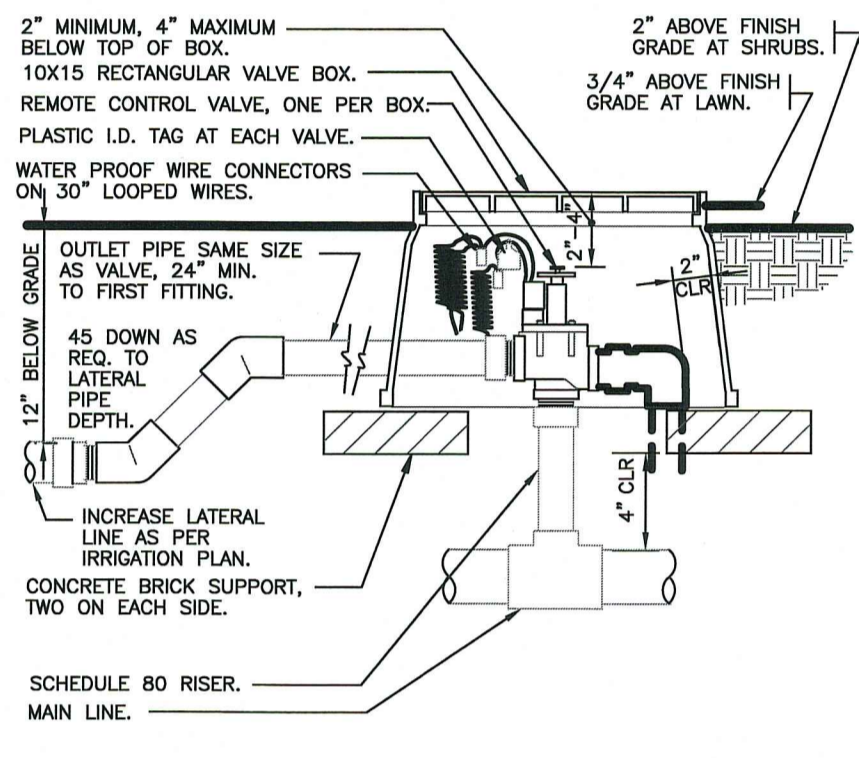
2 SHRUB SPRAY KBI FIXED RISER
3" = 1'-0"



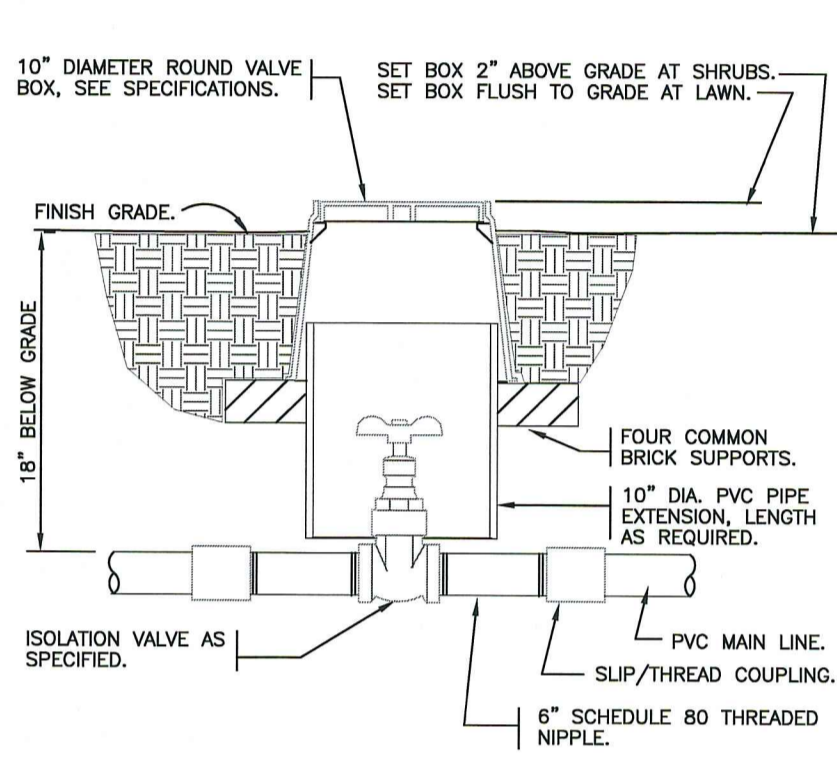
3 BUBBLER AT TREE WELL
1 1/2" = 1'-0"



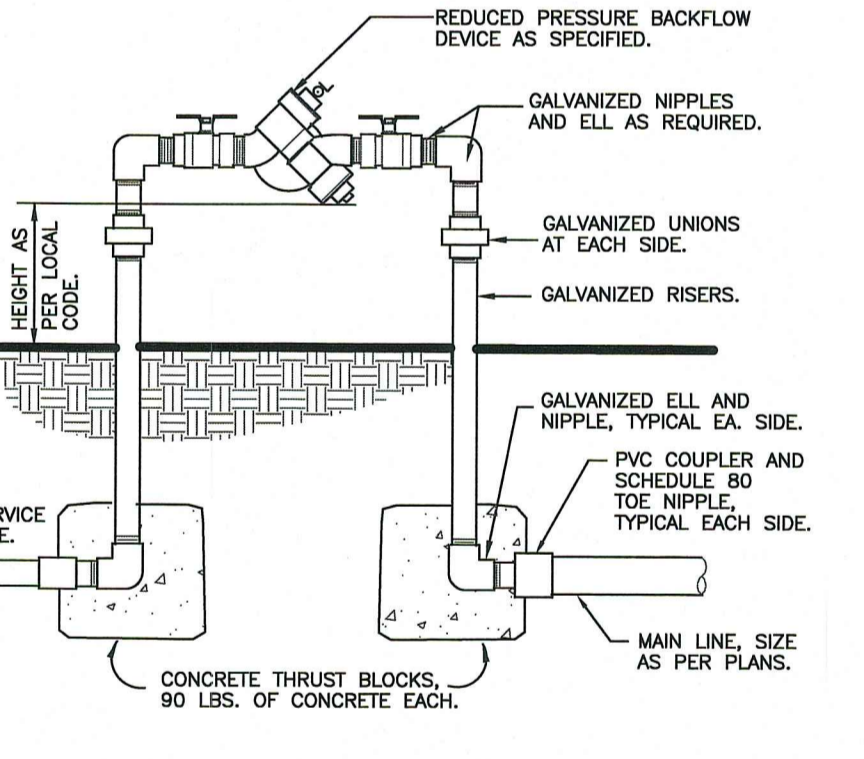
4 POPUP BUBBLER AT PLANT PIT
3" = 1'-0"



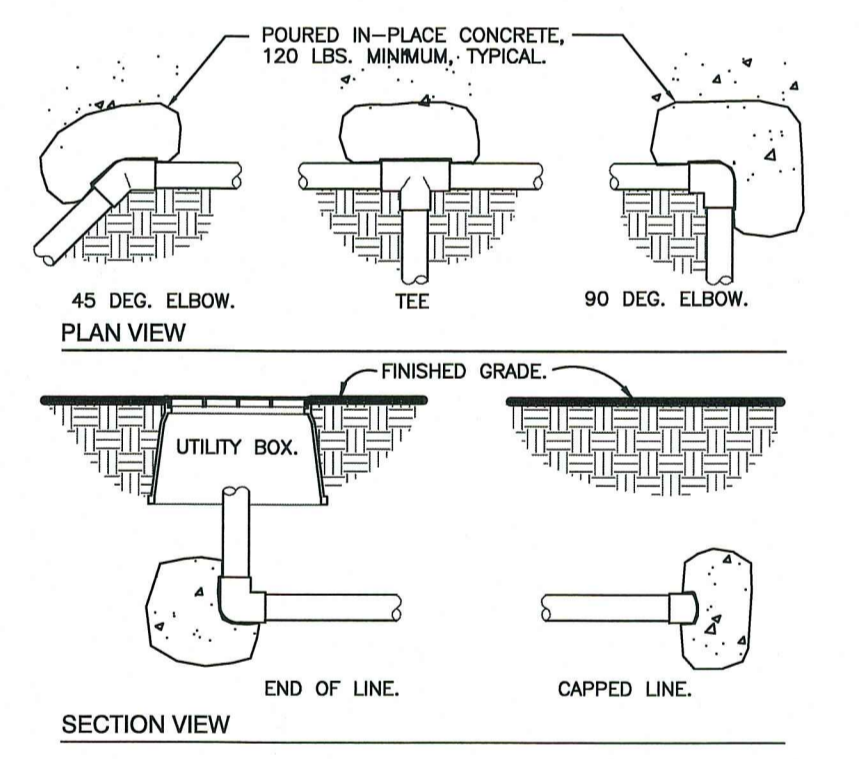
5 ELECTRIC REMOTE CONTROL VALVE
1 1/2" = 1'-0"



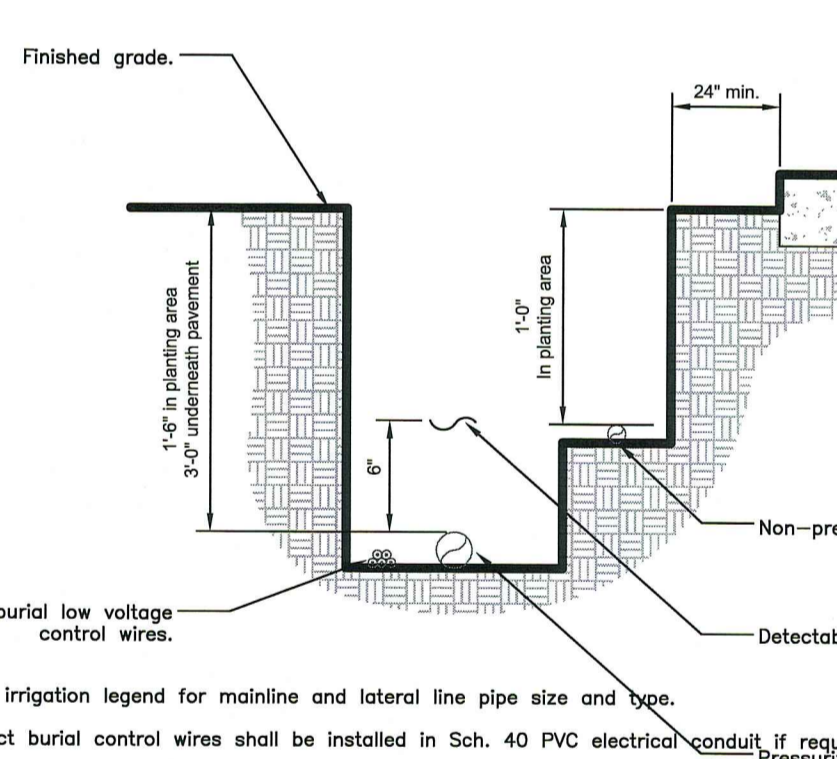
6 BRASS ISOLATION VALVE
1 1/2" = 1'-0"



7 REDUCED PRESSURE BACKFLOW DEVICE
1" = 1'-0"



8 THRUST BLOCKING
3/4" = 1'-0"



9 IRRIGATION TRENCHING
1 1/2" = 1'-0"

IRRIGATION NOTES:

Piping:

Main Lines: SCH 40 PVC, All solvent weld.

Zone Lines: PVC; 1/2 in. and 3/4 in. are not used. Min. pipe is 1 in. = Class 200 SDR 21. SCH 40 PVC All solvent weld.

All end of the line unmarked pipe = 1 in. (min.).

Sleeves and suction Line: PVC, Class 200.

Fittings: SCH 40 PVC

Fabrication: To manufacturers specifications. Use blue or grey PVC cement, square cut, clean and prime all joints.

Allow all main lines to cure for 24 hours before pressuring.

All pipe, fittings, and solvents to conform to latest ASTM specs.

Depth of Lines: Main Line and wiring = 18 in. depth, min.
Sleeving under pavement = 24 in. depth, min.
Suction Line = 24 in. depth, nominal.
Zone Lines 1-1/2 in. and smaller = 10 in. depth, min.

Control Wires: AWG 14 for all hot wires and AWG 12 for common. Solid copper type UF UL listed IN CONDUIT. No direct burial. Run wires under main and tape every 20 feet. Run spares, two min. Splice wires only in a valve box. All splices shall be moisture proof using Snap tile or DBY UL connectors. Common shall be white, hot shall be red or color coded. Spare shall be black. Run in conduit where no Main line runs.

Backfill all trenches free of debris, compact to original density, flush all lines, use screens in all heads, adjust heads for proper coverage avoiding excess water on walls, walks, etc.

All details are graphically shown only. All quantities shall be verified by the contractor prior to installation. It shall be the contractors responsibility to assure complete overlapping coverage. Any discrepancies shall be reported to the owner and landscape architect before proceeding. Codes and local regulations shall take precedence over these plans, it is the contractors responsibility to comply. The landscape architect reserves the right to make minor field changes, the contractor may field adjust spray nozzle selection to provide for proper 100% min. coverage.

Provide owner with an accurate as installed plan(s) at completion showing main lines, wiring, valves, crossings, etc. using dimensions from fixed datums.

Contractor shall verify all underground utilities prior to commencement of work.

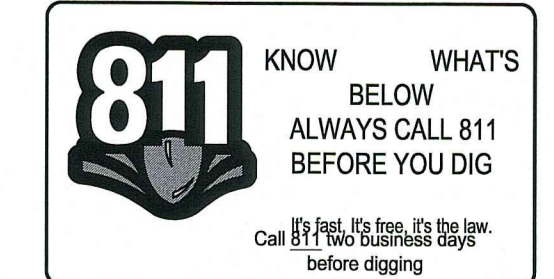
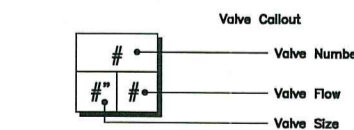
The perimeter irrigation and landscape may be required to be installed prior to either or both pump stations and all main line / valve wiring. A separate plan showing modifications and alternate water source will be provided prior to construction. The modifications will not impact upon the design intent or substantially affect the construction plan.

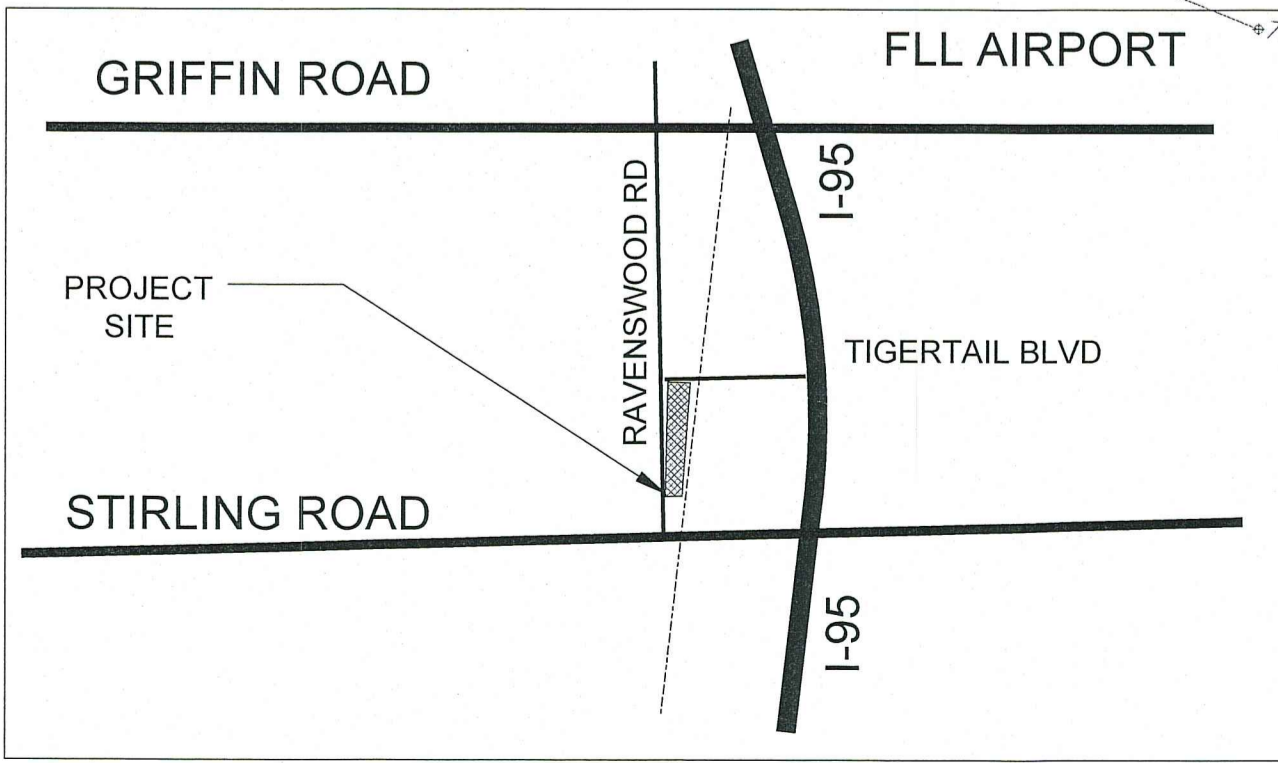
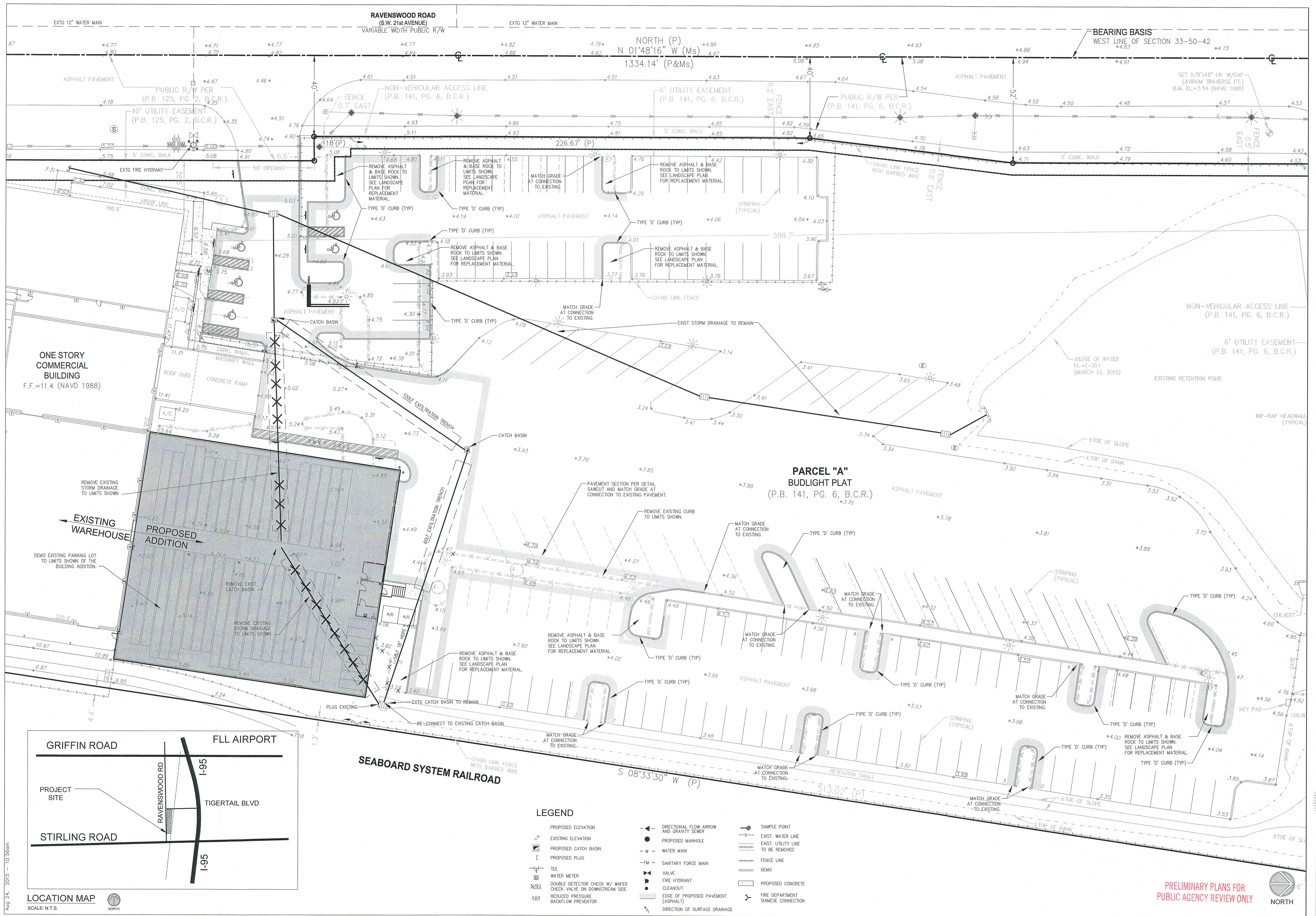
Provide electrical/breaker panel to feed controller on electrical plans.

IRRIGATION SCHEDULE

SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY	PSI		DETAIL
•••	RAIN BIRD 1806-SAM-PRS-NP ADJ TURF SPRAY 6.0" POP-UP SPRINKLER WITH CO-MOLDED WIPER SEAL. 1/2" NPT FEMALE THREADED INLET. WITH SEAL-A-MATIC CHECK VALVE, PRESSURE REGULATING.	61	30		
•••••	RAIN BIRD 1806-SAM-PRS-NP ADJ TURF SPRAY 6.0" POP-UP SPRINKLER WITH CO-MOLDED WIPER SEAL. 1/2" NPT FEMALE THREADED INLET. WITH SEAL-A-MATIC CHECK VALVE, PRESSURE REGULATING.	106	30		
•••••	RAIN BIRD 1800-PA-8S-NP 15 SQ SERIES SHRUB SPRAY ON FIXED RISER WITH THE PA-8S PLASTIC SHRUB ADAPTER. USE WITH 1/2" MPT THREADED RISERS.	3	30		
•••••	RAIN BIRD 1800-PA-8S-NP 15 STRIP SERIES SHRUB SPRAY ON FIXED RISER WITH THE PA-8S PLASTIC SHRUB ADAPTER. USE WITH 1/2" MPT THREADED RISERS.	134	30		
•••••	RAIN BIRD 1800-PA-8S-NP ADJ SHRUB SPRAY ON FIXED RISER WITH THE PA-8S PLASTIC SHRUB ADAPTER. USE WITH 1/2" MPT THREADED RISERS.	9	30		
•••••	RAIN BIRD 1800-PA-8S-NP ADJ SHRUB SPRAY ON FIXED RISER WITH THE PA-8S PLASTIC SHRUB ADAPTER. USE WITH 1/2" MPT THREADED RISERS. WITH PURPLE SHRUB ADAPTER	10	30		
•••••	HUNTER MP1000 PROS-06-PRS40-CV-R TURF ROTATOR, 6" (15.24 CM) POP-UP WITH CHECK VALVE, RECLAIMED BODY CAP, PRESSURE REGULATED TO 40 PSI (2.76 BAR). MP ROTATOR NOZZLE ON PRS40 BODY. M=MAROON ADJ ARC 90 TO 210, L=LIGHT BLUE 210 TO 270 ARC, O=OLIVE 360 ARC.	55	40		
•••••	HUNTER MP2000 PROS-06-PRS40-CV-R TURF ROTATOR, 6" (15.24 CM) POP-UP WITH CHECK VALVE, RECLAIMED BODY CAP, PRESSURE REGULATED TO 40 PSI (2.76 BAR). MP ROTATOR NOZZLE ON PRS40 BODY. M=MAROON ADJ ARC 90 TO 210, G=GREEN ADJ ARC 210-270, R=RED 360 ARC.	141	40		
•••••	HUNTER MP3000 PROS-06-PRS40-CV-R TURF ROTATOR, 6" (15.24 CM) POP-UP WITH FACTORY INSTALLED CHECK VALVE, RECLAIMED BODY CAP, PRESSURE REGULATED TO 40 PSI (2.76 BAR). MP ROTATOR NOZZLE ON PRS40 BODY. B=BLUE ADJ ARC 90-210, Y=YELLOW ADJ ARC 210-270, A=GRAY 360 ARC.	37	40		
•••••	HUNTER MP800SR PROS-06-PRS40-CV-R TURF ROTATOR, 6.0" POP-UP WITH CHECK VALVE, PRESSURE REGULATED TO 40 PSI (2.76 BAR). MP ROTATOR NOZZLE ON PRS40 BODY. ADJ=ORANGE AND GRAY (ARC 90-210), 360=LIME GREEN AND GRAY (ARC 360).	11	40		
•••••	HUNTER MP STRIP PROS-06-PRS40-CV-R TURF ROTATOR, 6" (15.24 CM) POP-UP WITH FACTORY INSTALLED CHECK VALVE, RECLAIMED BODY CAP, PRESSURE REGULATED TO 40 PSI (2.76 BAR). MP ROTATOR NOZZLE ON PRS40 BODY. LST=IVORY LEFT STRIP, SST=BROWN SIDE STRIP, RST=COPPER RIGHT STRIP.	65	40		

SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY	PSI	GPM	RADIUS	DETAIL
•••	RAIN BIRD 5006-PL-PC, FC-SAM-R-NP TURF ROTATOR, 6.0" POP-UP WITH PLASTIC RISER, ADJUSTABLE AND FULL CIRCLE. STANDARD ANGLE NOZZLE, IN-STEM PRESSURE REGULATOR, AND FLOW SHUT-OFF DEVICE. WITH SEAL-A-MATIC CHECK VALVE.	1	45	1.54	35'	
•••	RAIN BIRD 5006-PL-PC, FC-SAM-R-NP TURF ROTATOR, 6.0" POP-UP WITH PLASTIC RISER, ADJUSTABLE AND FULL CIRCLE. STANDARD ANGLE NOZZLE, IN-STEM PRESSURE REGULATOR, AND FLOW SHUT-OFF DEVICE. WITH SEAL-A-MATIC CHECK VALVE.	6	45	3.09	40'	
•••	RAIN BIRD 5006-PL-PC, FC-SAM-R-NP TURF ROTATOR, 6.0" POP-UP WITH PLASTIC RISER, ADJUSTABLE AND FULL CIRCLE. STANDARD ANGLE NOZZLE, IN-STEM PRESSURE REGULATOR, AND FLOW SHUT-OFF DEVICE. WITH SEAL-A-MATIC CHECK VALVE.	1	45	8.03	47'	
•••	POINT OF CONNECTION 1-1/2"	1				
•••	IRRIGATION LATERAL LINE: PVC CLASS 200 SDR 21	189.8 L.F.				
•••	IRRIGATION MAINLINE: PVC SCHEDULE 40 PVC SCHEDULE 40 IRRIGATION PIPE.	3,088 L.F.				

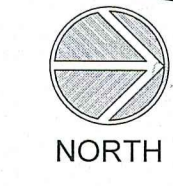


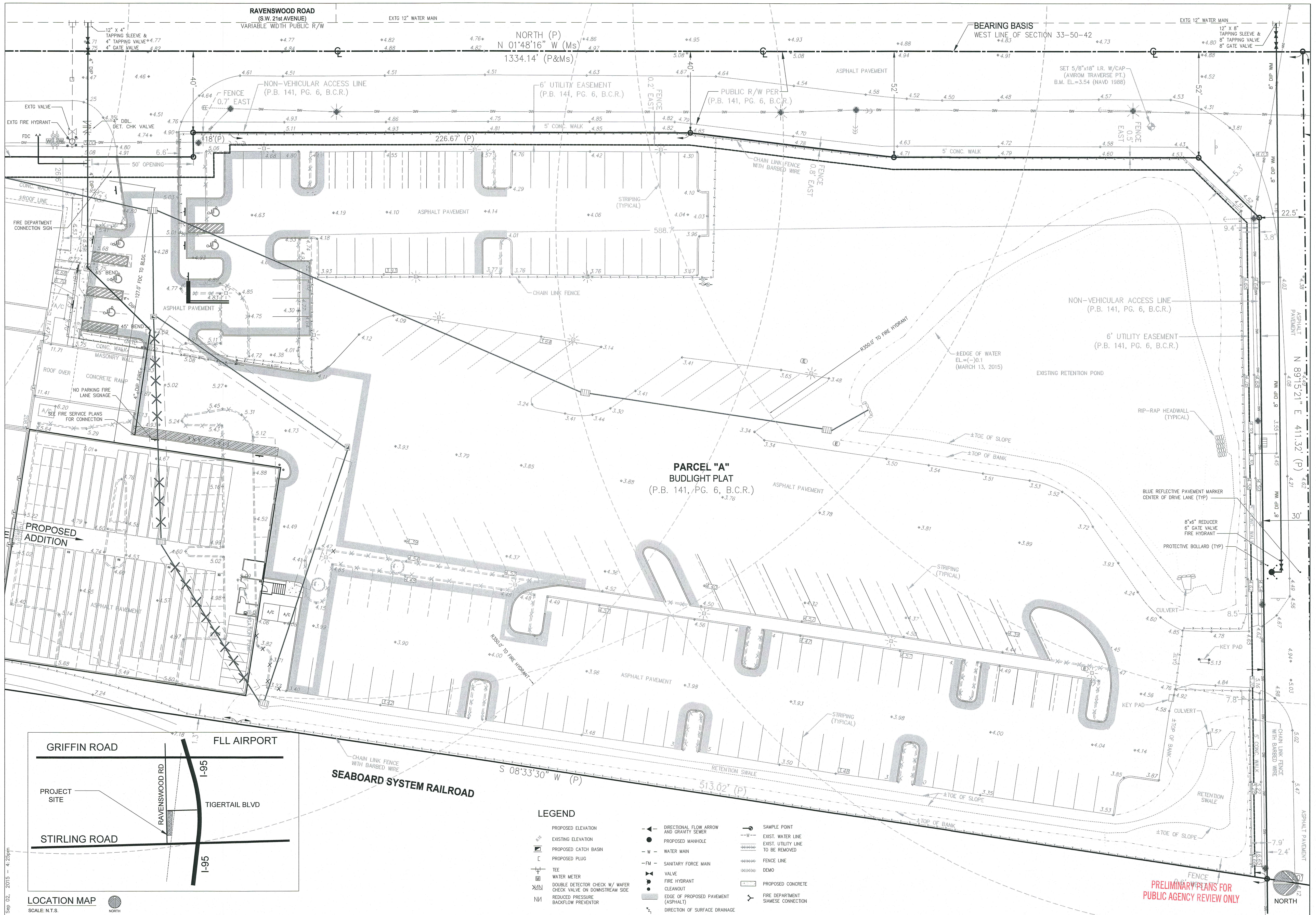


LEGEND

<ul style="list-style-type: none"> PROPOSED ELEVATION EXISTING ELEVATION PROPOSED CATCH BASIN PROPOSED PLUG TEE WATER METER DOUBLE DETECTOR CHECK W/ WAFER CHECK VALVE ON DOWNSTREAM SIDE REDUCED PRESSURE BACKFLOW PREVENTOR 	<ul style="list-style-type: none"> DIRECTIONAL FLOW ARROW AND GRAVITY SEWER PROPOSED MANHOLE WATER MAIN SANITARY FORCE MAIN VALVE FIRE HYDRANT CLEANOUT EDGE OF PROPOSED PAVEMENT (ASPHALT) DIRECTION OF SURFACE DRAINAGE 	<ul style="list-style-type: none"> SAMPLE POINT EXIST. WATER LINE EXIST. UTILITY LINE TO BE REMOVED FENCE LINE DEMO PROPOSED CONCRETE FIRE DEPARTMENT SAMESE CONNECTION
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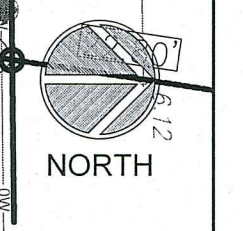
PRELIMINARY PLANS FOR
PUBLIC AGENCY REVIEW ONLY





SEP 02, 2015 4:25pm

LOCATION MAP
SCALE: N.T.S.



BROWARD COUNTY PUBLIC WORKS DEPARTMENT

WATER & WASTEWATER SERVICES
 ENGINEERING DIVISION
 1100 WEST OXFORD ROAD
 FORT LAUDERDALE, FL 33304
 PHONE NO. 954-351-0101
 FAX NO. 954-351-0105

STANDARD DETAIL

811 Know what's below. Call before you dig.

- PRIOR TO BEGINNING ANY WORK, CONTRACTOR SHALL CONTACT ALL UTILITY COMPANIES THAT MAY UTILIZE UTILITIES WITHIN THE PROJECT AREA.
- THE ABOVE NOTICE SHALL APPEAR ON THE COVER SHEET OF ALL CONSTRUCTION PLANS SUBMITTED TO THE COUNTY.

REPLACES FORMER DWG NO. 101
 REVISED 2/23/2011

UTILITY LOCATES

FIGURE 101

BROWARD COUNTY PUBLIC WORKS DEPARTMENT

WATER & WASTEWATER SERVICES
 ENGINEERING DIVISION
 1100 WEST OXFORD ROAD
 FORT LAUDERDALE, FL 33304
 PHONE NO. 954-351-0101
 FAX NO. 954-351-0105

STANDARD DETAIL

- HYDRANT COATED WITH YELLOW REFLECTIVE PAINT.
- USE RESTRAINED JOINTS FOR THE ENTIRE ASSEMBLY SHOWN.
- HYDRANT SET BACK SHALL CONFORM TO FOOT AND SCHED REQUIREMENTS, WHERE APPLICABLE.
- GATE VALVE IS NORMALLY LOCATED NEXT TO TIE.
- IF DISTANCE FROM MAIN LINE TO FIRE HYDRANT IS GREATER THAN 20 FEET ANOTHER GATE VALVE WILL BE PROVIDED CLOSE TO THE HYDRANT. THIS SECOND GATE VALVE SHALL BE INSTALLED WITHIN 5' OF THE FIRE HYDRANT. CHECK VALVE SHALL BE WITHIN 3' OF FIRE HYDRANT UNLESS CHECK VALVE INTEGRAL TO HYDRANT.
- HYDRANT FEED PIPE MAY BE TAPPED FOR A SERVICE LINE UPSTREAM OF THE ISOLATION GATE VALVE.
- A BLUE MARKER REFLECTIVE PAVEMENT MARKER SHALL BE PLACED AT THE CENTER LINE OF THE OUTSIDE ROADWAY LANE TO IDENTIFY THE FIRE HYDRANT LOCATION.

REPLACES FORMER DWG NO. 8
 REVISED 10/18/2012

FIRE HYDRANT INSTALLATION

FIGURE 231

BROWARD COUNTY PUBLIC WORKS DEPARTMENT

WATER & WASTEWATER SERVICES
 ENGINEERING DIVISION
 1100 WEST OXFORD ROAD
 FORT LAUDERDALE, FL 33304
 PHONE NO. 954-351-0101
 FAX NO. 954-351-0105

STANDARD DETAIL

- DOUBLE CHECK DETECTOR ASSEMBLY SHALL BE PRIVATELY OWNED BY PROPERTY OWNER.
- PIPE SYSTEM TO BE CONSTRUCTED TO BE IN ACCORDANCE WITH WFS, ISCA, AND ALL APPLICABLE CODES.
- OWNER SHALL REVIEW COMMERCIAL FIRE SERVICE AGREEMENT WITH WFS.
- 1" VENT PIPE TO BE PROVIDED AFTER WFS APPROVAL.

REPLACES FORMER DWG NO. 9A
 REVISED 3/22/2012

TYPE 1 PRIVATE FIRE PROTECTION CONNECTION

FIGURE 235

BROWARD COUNTY PUBLIC WORKS DEPARTMENT

WATER & WASTEWATER SERVICES
 ENGINEERING DIVISION
 1100 WEST OXFORD ROAD
 FORT LAUDERDALE, FL 33304
 PHONE NO. 954-351-0101
 FAX NO. 954-351-0105

STANDARD DETAIL

REPLACES FORMER DWG NO. 194
 REVISED 2/23/2011

BOLLARD

FIGURE 194

BROWARD COUNTY PUBLIC WORKS DEPARTMENT

WATER & WASTEWATER SERVICES
 ENGINEERING DIVISION
 1100 WEST OXFORD ROAD
 FORT LAUDERDALE, FL 33304
 PHONE NO. 954-351-0101
 FAX NO. 954-351-0105

STANDARD DETAIL

- WHEN VALVE IS NOT LOCATED IN PAVEMENT, PLACE A WHITE PAVEMENT REFLECTOR MARKER IN THE DRIVE LANE, ADJACENT TO THE VALVE.
- OPERATOR EXTENSION SHAFT SHALL BE PROVIDED WHEN OPERATING HUB IS MORE THAN 24" BELOW TOP OF VALVE BOX. SAW CUT IN STEEL TIE IRON PIPE IS NOT ACCEPTABLE FOR VALVE BOX RISER.
- 3" PVC PIPE OR EQUIVALENT IRON PIPE IS NOT ACCEPTABLE FOR VALVE BOX RISER.

REPLACES FORMER DWG NO. 123
 REVISED 9/5/2012

VALVE BOX DETAIL

FIGURE 123

BROWARD COUNTY PUBLIC WORKS DEPARTMENT

WATER & WASTEWATER SERVICES
 ENGINEERING DIVISION
 1100 WEST OXFORD ROAD
 FORT LAUDERDALE, FL 33304
 PHONE NO. 954-351-0101
 FAX NO. 954-351-0105

STANDARD DETAIL

REPLACES FORMER DWG NO. 131
 REVISED 2/23/2011

TYPICAL CONNECTION TO EXISTING MAIN

FIGURE 131

BROWARD COUNTY PUBLIC WORKS DEPARTMENT

WATER & WASTEWATER SERVICES
 ENGINEERING DIVISION
 1100 WEST OXFORD ROAD
 FORT LAUDERDALE, FL 33304
 PHONE NO. 954-351-0101
 FAX NO. 954-351-0105

STANDARD DETAIL

- UNLESS OTHERWISE SPECIFIED, BEDDING MATERIAL SHALL CONSIST OF SELECT BACKFILL MATERIAL, 3" MAX. SIZE, COMPACTED TO AT LEAST 100% OF MAX. DENSITY, 4" LIFTS, PER AASHTO SPEC. NO. T-99C.
- WHERE REQUIRED, SHEETING AND SHORING SHALL BE IN ACCORDANCE WITH OSHA REQUIREMENTS.
- WHERE UNSTABLE SOILS ARE ENCOUNTERED, INCLUDING PEAT, MUCK OR OTHER ORGANIC SOILS, SLICILS AND CLAYS, A FOUNDATION IS REQUIRED AS DETERMINED BY THE ENGINEER OF RECORD.

REPLACES FORMER DWG NO. 180
 REVISED 2/23/2011

TYPICAL TRENCH BACKFILL

FIGURE 180

BROWARD COUNTY PUBLIC WORKS DEPARTMENT

WATER & WASTEWATER SERVICES
 ENGINEERING DIVISION
 1100 WEST OXFORD ROAD
 FORT LAUDERDALE, FL 33304
 PHONE NO. 954-351-0101
 FAX NO. 954-351-0105

STANDARD DETAIL

- BASE MATERIAL SHALL HAVE A MINIMUM LIME OF 100 AND A MINIMUM CARBONATE CONTENT OF 20% (FOR LOCAL STREETS).
- BASE MATERIAL SHALL BE PLACED IN 6" MAXIMUM LAYER THICKNESS (LOOSE MEASUREMENT) AND EACH LAYER THOROUGHLY ROLLED OR TAMPED TO 98% OF MAXIMUM DENSITY PER AASHTO T-99C.
- ASPHALT CONCRETE PAVEMENT COUNTS SHALL BE MECHANICALLY SAW CUT.
- SUBGRADE MATERIAL SHALL BE CONSISTENT WITH THE SURROUNDING SURFACE MATERIAL.
- BASE MATERIAL SHALL HAVE A MINIMUM CARBONATE OF 70% (FOR LOCAL STREETS).
- SUR GRADE MATERIAL SHALL BE GRANULAR AND ANGULAR AND SHALL HAVE A MINIMUM LIME OF 40.
- IF THE DITCH IS FILLED TEMPORARILY, IT SHALL BE COVERED WITH A 2" THICK ASPHALT CONCRETE PATCH TO KEEP THE FULL MATERIAL FROM HAWKING, UNITS REPLACED WITH A MINIMUM PATCH.
- FOR STATE ROADS REFER TO FOOT SPECIFICATIONS AND REQUIREMENTS.

REPLACES FORMER DWG NO. 19A
 REVISED 2/23/2011

RESTORATION OF ROADWAY CUT FOR PARALLEL UTILITY INSTALLATION

FIGURE 182

BROWARD COUNTY PUBLIC WORKS DEPARTMENT

WATER & WASTEWATER SERVICES
 ENGINEERING DIVISION
 1100 WEST OXFORD ROAD
 FORT LAUDERDALE, FL 33304
 PHONE NO. 954-351-0101
 FAX NO. 954-351-0105

STANDARD DETAIL

- BASE MATERIAL SHALL HAVE A MINIMUM LIME OF 100 AND A MINIMUM CARBONATE CONTENT OF 20% (FOR LOCAL STREETS).
- BASE MATERIAL SHALL BE PLACED IN 6" MAXIMUM LAYER THICKNESS (LOOSE MEASUREMENT) AND EACH LAYER THOROUGHLY ROLLED OR TAMPED TO 98% OF MAXIMUM DENSITY PER AASHTO T-99C.
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- BASE MATERIAL SHALL HAVE A MINIMUM CARBONATE OF 70% (FOR LOCAL STREETS).
- SUR GRADE MATERIAL SHALL BE GRANULAR AND ANGULAR AND SHALL HAVE A MINIMUM LIME OF 40.
- IF THE DITCH IS FILLED TEMPORARILY, IT SHALL BE COVERED WITH A 2" THICK ASPHALT CONCRETE PATCH TO KEEP THE FULL MATERIAL FROM HAWKING, UNITS REPLACED WITH A MINIMUM PATCH.
- FOR STATE ROADS REFER TO FOOT SPECIFICATIONS AND REQUIREMENTS.

REPLACES FORMER DWG NO. 19B
 REVISED 2/23/2011

RESTORATION OF ROADWAY CUT FOR PERPENDICULAR UTILITY INSTALLATION

FIGURE 183

BROWARD COUNTY PUBLIC WORKS DEPARTMENT

WATER & WASTEWATER SERVICES
 ENGINEERING DIVISION
 1100 WEST OXFORD ROAD
 FORT LAUDERDALE, FL 33304
 PHONE NO. 954-351-0101
 FAX NO. 954-351-0105

STANDARD DETAIL

- REMOVE TEMPORARY CONNECTION AT COPORATION STOP ON EXISTING MAIN.
- DO NOT REMOVE TEMPORARY CONNECTION AT COPORATION STOP ON NEW MAIN LINE. ALL TESTING HAS BEEN CLEARED BY HEALTH DEPARTMENT.
- CLOSE COPORATION STOPS AND PLUGS/TAP WITH BRASS FITTINGS AFTER SAMPING IS COMPLETED.

REPLACES FORMER DWG NO. 7
 REVISED 2/23/2011

FILLING AND FLUSHING CONNECTION

FIGURE 205

BROWARD COUNTY PUBLIC WORKS DEPARTMENT

WATER & WASTEWATER SERVICES
 ENGINEERING DIVISION
 1100 WEST OXFORD ROAD
 FORT LAUDERDALE, FL 33304
 PHONE NO. 954-351-0101
 FAX NO. 954-351-0105

STANDARD DETAIL

- SUCCESSOR TAPS INTO THE WATER MAIN SHALL BE SPACED NOT LESS THAN 18" ON CENTER. NO TAPS SHALL BE CLOSER THAN 18" TO A JOINT.
- 1" SERVICE REQUIRE A 2" MINIMUM INSIDE DIAMETER CASING PIPE.
- 2" SERVICE REQUIRE A 3" MINIMUM INSIDE DIAMETER CASING PIPE.
- ALL CASING PIPE SHALL EXTEND A MINIMUM OF 2' BEYOND THE EDGE OF PAVING SURFACE.
- FOR 1" SERVICE LINES THE MINIMUM RADIUS SHALL BE 14".
- FOR 2" SERVICE LINES THE MINIMUM RADIUS SHALL BE 21".
- ALL CASING PIPE ENDS SHALL BE FILED SMOOTH WITH NO BURRS AND SEALED WITH URETHANE FOAM.
- THE POLYETHYLENE OR COPPER TUBING SHALL BE ONE CONTINUOUS PIECE FROM THE COPORATION STOP TO THE CHECK VALVE. NO JOINTS WILL BE PERMITTED BETWEEN THESE POINTS.
- THE CHECK VALVE IS TO BE INSTALLED 5 FEET BEFORE THE METER VALVE.

REPLACES FORMER DWG NO. 1A
 REVISED 2/23/2011

TYPE 1 WATER SERVICE CONNECTION

FIGURE 221

FLYNN ENGINEERING SERVICES, P.A. CIVIL ENGINEERS

241 COMMERCIAL BLVD
 FT. LAUDERDALE, FL 33308
 PHONE: (954) 522-1004
 FAX: (954) 522-7630
 www.flynnengineering.com
 EB# 6578

Sheet Title
WATER DETAILS (FIRE SERVICE)

Job Title
STEPHENS DISTRIBUTING COMPANY BUILDING EXPANSION/PARKING RENOVATION

186 RAVENSWOOD ROAD, DANIA BEACH

Phase: JAY M. FLYNN
 DRC PE 38629
 DOCUMENTS AUG 26 2015

Revisions

Scale: NTS Date: 08/24/15

Job No. 15-1224.00 Plot Date: 08/24/15

Drawn by DTR Sheet No. C4

Proj Mgr. DTR

Appr. by JMF 5 of 5

PRELIMINARY PLANS FOR PUBLIC AGENCY REVIEW ONLY

STEPHENS DISTRIBUTION PROPOSED ADDITION



185 ANGLERS AVENUE , DANIA, FLORIDA 33312

